

CODE ANALYSIS

APPLICABLE CODES

	Year		Year
International Building Code	2006	National Electrical Code	2005
International Mechanical Code	2006	Uniform Code for Building Conservation	
International Fuel Gas Code	2006	ADA Accessibility Guidelines	ICC/ANSI 117.1 2003
International Plumbing Code	2006		
International Fire Code	2006		
International Energy Conservation Code	2006		

A. Occupancy and Group: UNLIMITED - COVERED MALL BUILDING

Change in Use: Yes ☒ No ☐ Mixed Occupancy: Yes ☐ No ☐
Special Use and Occupancy (e.g. High Rise, Covered Mall): COVERED MALL BUILDING

B. Seismic Design Category: D Design Wind Speed: 90 mph

C. Type of Construction (circle one):
II B

D. Fire Resistance Rating Requirements for the Exterior Walls based on the fire separation distance (in hours):
North: EXISTING South: EXISTING East: EXISTING West: EXISTING

E. Mixed Occupancies: ☒ Nonseparated Uses: 0

F. Sprinklers:
Required: ☒ Provided: ☒

Type of Sprinkler System (IBC 903.3.1) NFPA 13

G. Number of Stories: 3 Building Height: 45'

H. Actual Area per Floor (square feet): FLR 1: 3,000 SF - FLR 2: 27,440 SF
FLR 3: 20,140 SF - FLR 4: 39,990 SF

I. Tabular Area: (table 503) N/A - UNLIMITED - COVERED MALL BUILDING

J. Area Modifications:
$$A_a = \left\{ A_t + \left[A_t \times I_f \right] + \left[A_t \times I_s \right] \right\} \quad I_f = \left[F/P - 0.25 \right] W / 30$$

b) Sum of the Ratio Calculations for Mixed Occupancies:

Actual Area \leq 1
Allowable Area

c) Total Allowable Area for:

- One Story:
- Two Story: A_a(2)
- Three Story: A_a(3)

d) Unlimited Area Building: Yes ☒ No ☐ Code Section: 402

K. Fire Resistance Rating Requirements for Building Elements (hours).

Element	Hours	Assembly Listing	Element	Hours	Assembly Listing
Exterior Bearing Walls	0		Floors - Ceiling Floors	0	
Interior Bearing Walls	0		Roofs - Ceiling Roofs	0	
Exterior Non-Bearing Walls	0		Exterior Doors and Windows	0	
Structural Frame	0		Shaft Enclosures	1 Hr.	
Partitions - Permanent	N/A		Fire Partitions	N/A	
Fire Barriers	N/A		Smoke Partitions	N/A	

EXIT TRAVEL DISTANCE (TABLE 1016.1): 300 FEET

L. Design Occupant Load: FLR 1: 30 - FLR 2: 274 - FLR 3: 201 - FLR 4: 399

Exit Width Required: FLR 1: 6" (2) FLR 2: 55" (2) FLR 3: 40" (2) FLR 4: 80" (2)
Exit Width Provided: FLR 1: 32" +60" STAIR FLR 2: 192" +60" STAIR FLR 3: 160" +120" STAIR FLR 4: 160" +60" STAIR
+ 30' WIDE CORRIDOR AT EA. END

M. Minimum Number of Required Plumbing Facilities:

- Water Closets - Required (m) 6 (f) 6 Provided (m) 6 (f) 6
- Urinals - Required (m) 3 (f) 3 Provided (m) (f)
- Lavatories - Required (m) 4 (f) 4 Provided (m) 4 (f) 4
- Bath Tubs or Showers:
- Drinking Fountains: 4 Service Sinks: 1

FOOTNOTES:

- In case of conflict with the U.S. Department of Justice Federal Registers Parts I through V - ADA Guidelines and specific reference to the International Building Code Accessibility Chapters, the more restrictive requirement shall govern.
- Additional Code Information shall be provided at the discretion of the Building Official for Complex Buildings. Including, but not limited to:
 - High Rise Requirements.
 - Atriums.
 - Performance Based Criteria.
 - Means or Egress Analysis.
 - Fire Assembly Locator Sheet.
 - Exterior and Interior Accessibility Route.
 - Fire Stopping, Including Tested Design Number.

DEFERRED SUBMITTALS:

FIRE SPRINKLER SYSTEMS
ANTICIPATED DATE: OCT. 30, 2008

SHORING/EXCAVATION
ANTICIPATED DATE: SEPT. 30, 2008

PROJECT TEAM

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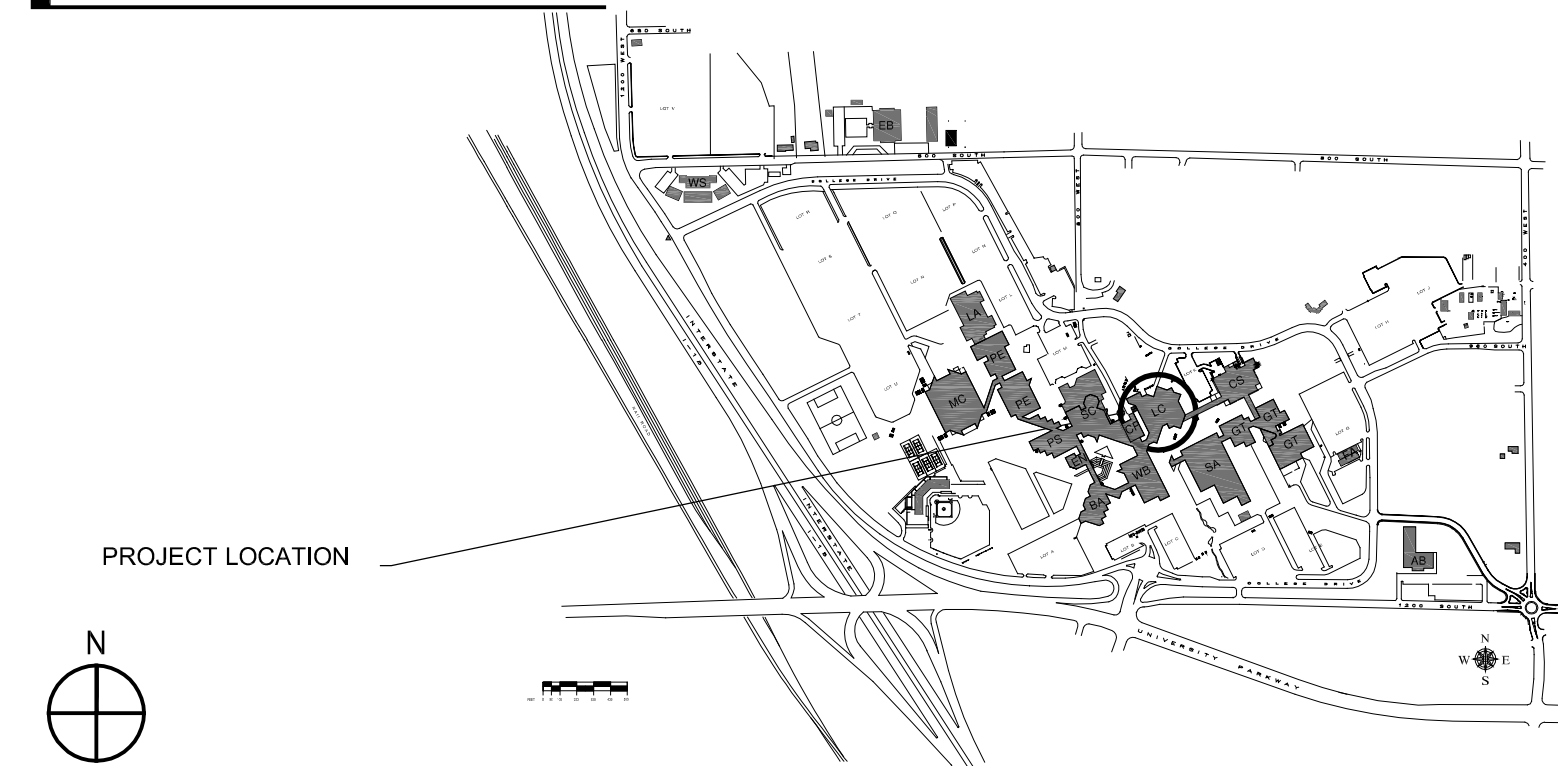
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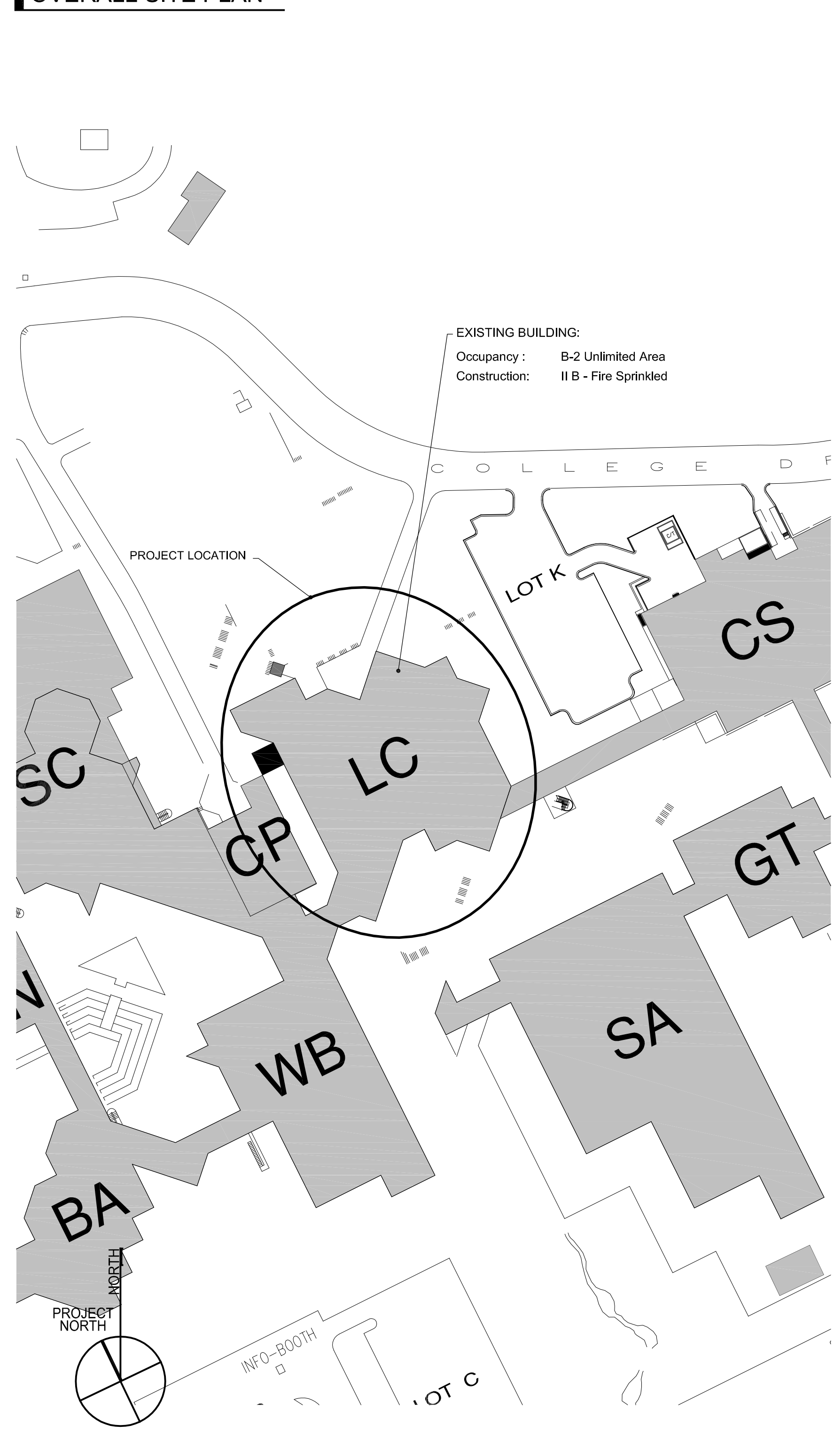
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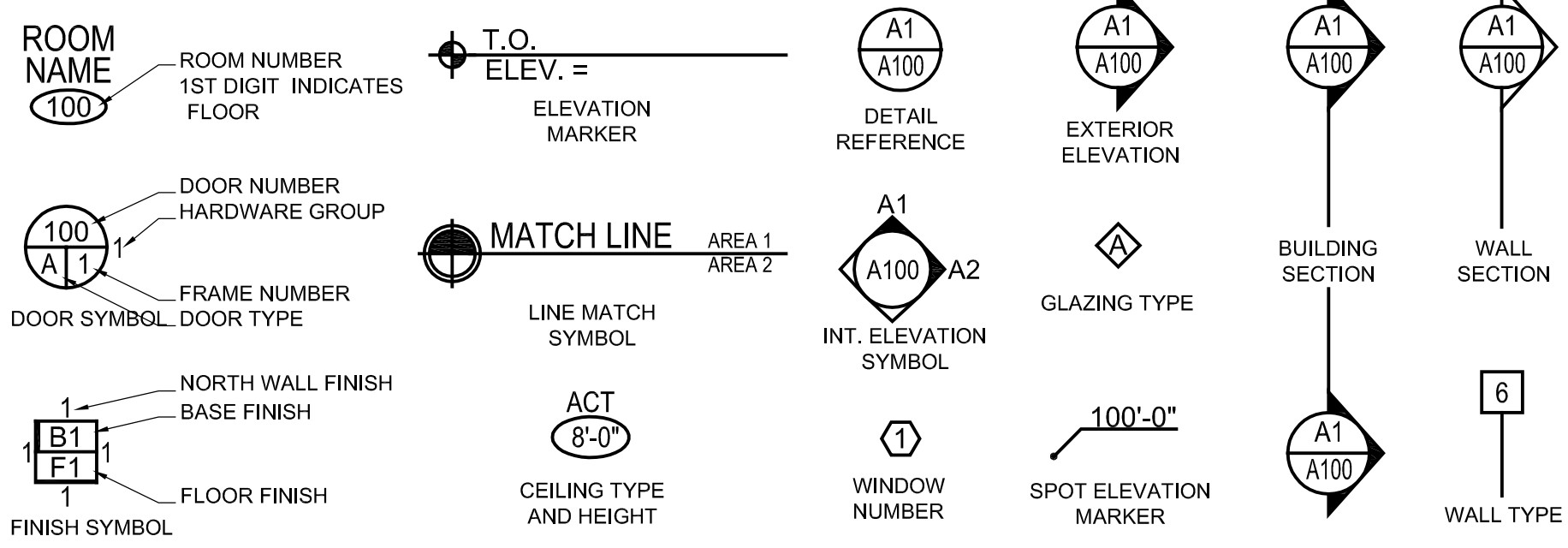
VICINITY MAP



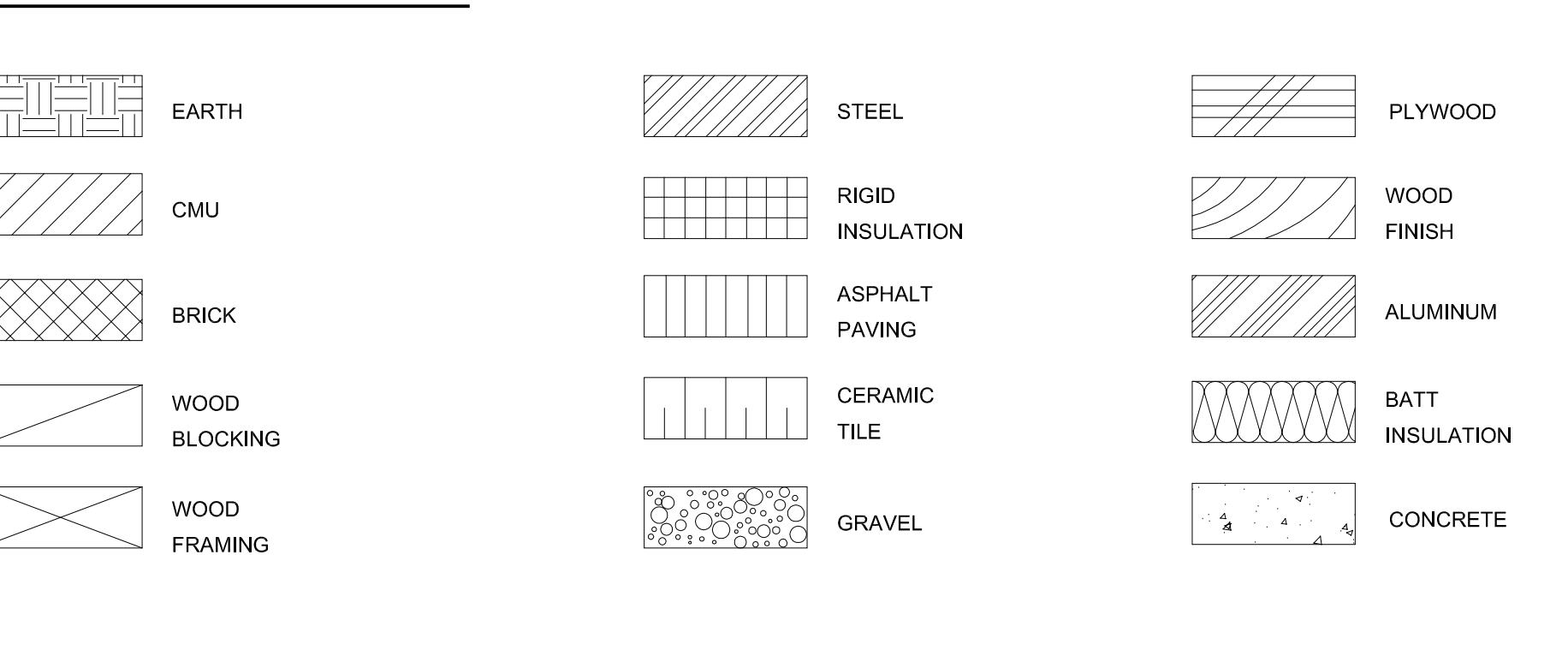
OVERALL SITE PLAN



SYMBOL LEGEND



GRAPHIC SYMBOLS



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GH102 OVERALL PLANS & EXITS

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MD103 LEVEL THREE MECHANICAL DEMOLITION PLAN
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MD104B LEVEL FOUR (B) MECHANICAL DEMOLITION PLAN
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EX101 ONE-LINE DIAGRAM
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NOTE: THE SHEETS LISTED ABOVE REPRESENT A FULL SET OF CONSTRUCTION DOCUMENTS AND INCLUDE A DETAIL BOOK AND A PROJECT MANUAL AND SHALL NOT BE SEPARATED. ANY CONTRACTOR, SUBCONTRACTOR, VENDOR OR ANY OTHER PERSON PARTICIPATING IN OR BIDDING ON THIS PROJECT SHALL BE RESPONSIBLE FOR REVIEWING ALL THE CONSTRUCTION DOCUMENTS INCLUDING BUT NOT LIMITED TO DRAWINGS, DETAILS, PROJECT MANUAL, SPECIFICATIONS AND ANY AND ALL ADDENDA ISSUED.

UTAH VALLEY UNIVERSITY

LOSEE CENTER REMODEL

Orem, Utah

DFCM PROJECT # 07196790

UTAH VALLEY
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ENGINEERING, FACILITIES PLANNING
& CONSTRUCTION DEPARTMENT

State of Utah
Department of Administrative Services
Division of Facilities
Construction & Management
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Salt Lake City, Utah 84114
Phone: (801) 538 - 3018
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APPROVALS

Prime Agency DFCM Date

Date

APPROVAL DOES NOT RELIEVE A/E OF DESIGN LIABILITY

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Orem, Utah

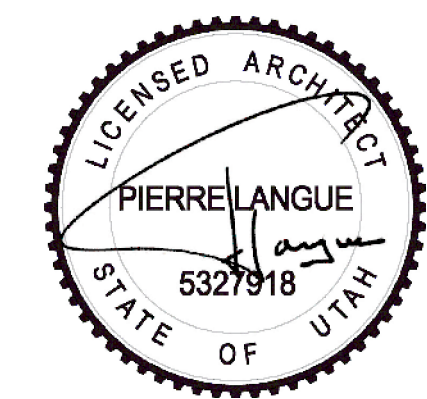
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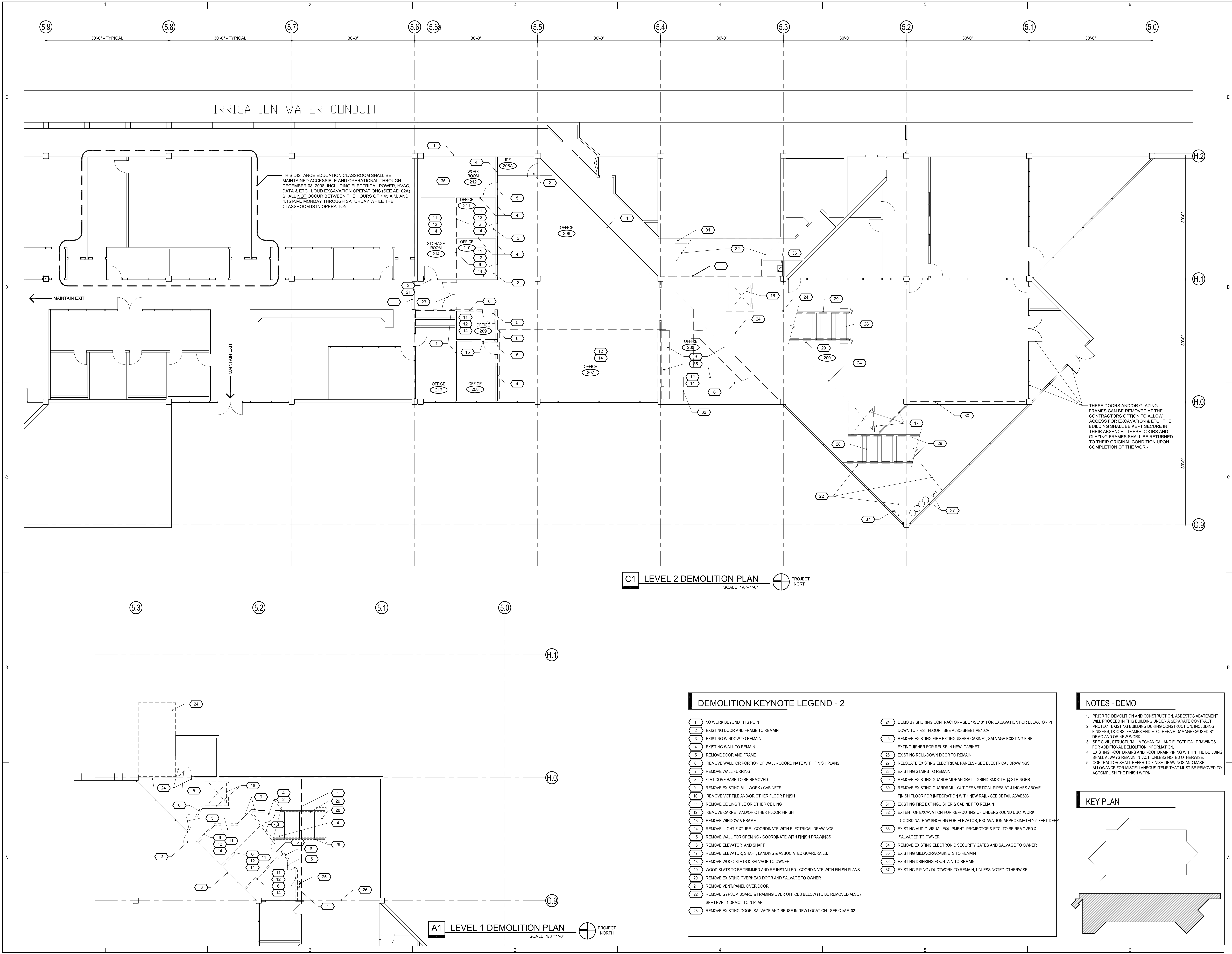
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Owner # 07196790
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INFORMATION SHEET
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Orem, Utah

Revision # Date

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LEVEL 2
DEMOLITION PLAN

AD102

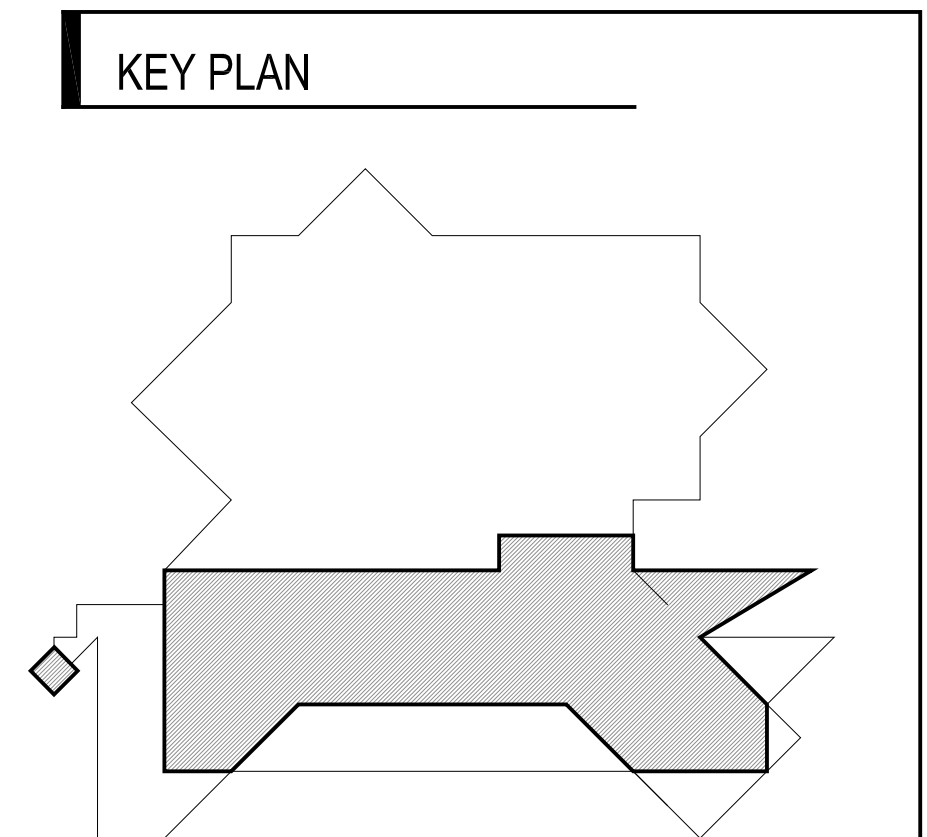
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1	NO WORK BEYOND THIS POINT	24	DEMO BY SHORING CONTRACTOR - SEE 1/SE101 FOR EXCAVATION FOR ELEVATOR PIT
2	EXISTING DOOR AND FRAME TO REMAIN	25	DOWN TO FIRST FLOOR. SEE ALSO SHEET AE102A
3	EXISTING WINDOW TO REMAIN	26	REMOVE EXISTING FIRE EXTINGUISHER CABINET; SALVAGE EXISTING FIRE EXTINGUISHER FOR REUSE IN NEW CABINET
4	EXISTING WALL TO REMAIN	28	EXISTING ROLL-DOWN DOOR TO REMAIN
5	REMOVE DOOR AND FRAME	27	RELOCATE EXISTING ELECTRICAL PANELS - SEE ELECTRICAL DRAWINGS
6	REMOVE WALL OR PORTION OF WALL - COORDINATE WITH FINISH PLANS	28	EXISTING STAIRS TO REMAIN
7	REMOVE WALL FURRING	29	REMOVE EXISTING GUARDRAIL/HANDRAIL - GRIND SMOOTH @ STRINGER
8	FLAT COVE BASE TO BE REMOVED	30	REMOVE EXISTING GUARDRAIL - CUT OFF VERTICAL PIPES AT 4 INCHES ABOVE FINISH FLOOR FOR INTEGRATION WITH NEW RAIL - SEE DETAIL A3/AE003
9	REMOVE EXISTING MILLWORK/ CABINETS	31	EXISTING FIRE EXTINGUISHER A CABINET TO REMAIN
10	REMOVE VCT TILE AND/OR OTHER FLOOR FINISH	32	EXTENT OF EXCAVATION FOR RE-ROUTING OF UNDERGROUND DUCTWORK - COORDINATE W/ SHORING FOR ELEVATOR. EXCAVATION APPROXIMATELY 5 FEET DEEP
11	REMOVE CEILING TILE OR OTHER CEILING	33	EXISTING AUDIO-VISUAL EQUIPMENT, PROJECTOR & ETC. TO BE REMOVED & SALVAGED TO OWNER
12	REMOVE CARPET AND/OR OTHER FLOOR FINISH	34	REMOVE EXISTING ELECTRONIC SECURITY GATES AND SALVAGE TO OWNER
13	REMOVE WINDOW & FRAME	35	EXISTING MILLWORK/CABINETS TO REMAIN
14	REMOVE LIGHT FIXTURE - COORDINATE WITH ELECTRICAL DRAWINGS	36	EXISTING DRINKING FOUNTAIN TO REMAIN
15	REMOVE WALL FOR OPENING - COORDINATE WITH FINISH DRAWINGS	37	EXISTING PIPING / DUCTWORK TO REMAIN, UNLESS NOTED OTHERWISE
16	REMOVE ELEVATOR AND SHAFT		
17	REMOVE ELEVATOR, SHAFT, LANDING & ASSOCIATED GUARDRAILS.		
18	REMOVE WOOD SLATS & SALVAGE TO OWNER		
19	WOOD SLATS TO BE TRIMMED AND RE-INSTALLED - COORDINATE WITH FINISH PLANS		
20	REMOVE EXISTING OVERHEAD DOOR AND SALVAGE TO OWNER		
21	REMOVE VENT/PANEL OVER DOOR		
22	REMOVE GYPSUM BOARD & FRAMING OVER OFFICES BELOW (TO BE REMOVED ALSO). SEE LEVEL 1 DEMOLITION PLAN		
23	REMOVE EXISTING DOOR; SALVAGE AND REUSE IN NEW LOCATION - SEE C1/AE102		



Professional Engineer Seal for Pierre Langue, State of Utah, License No. 5327918.

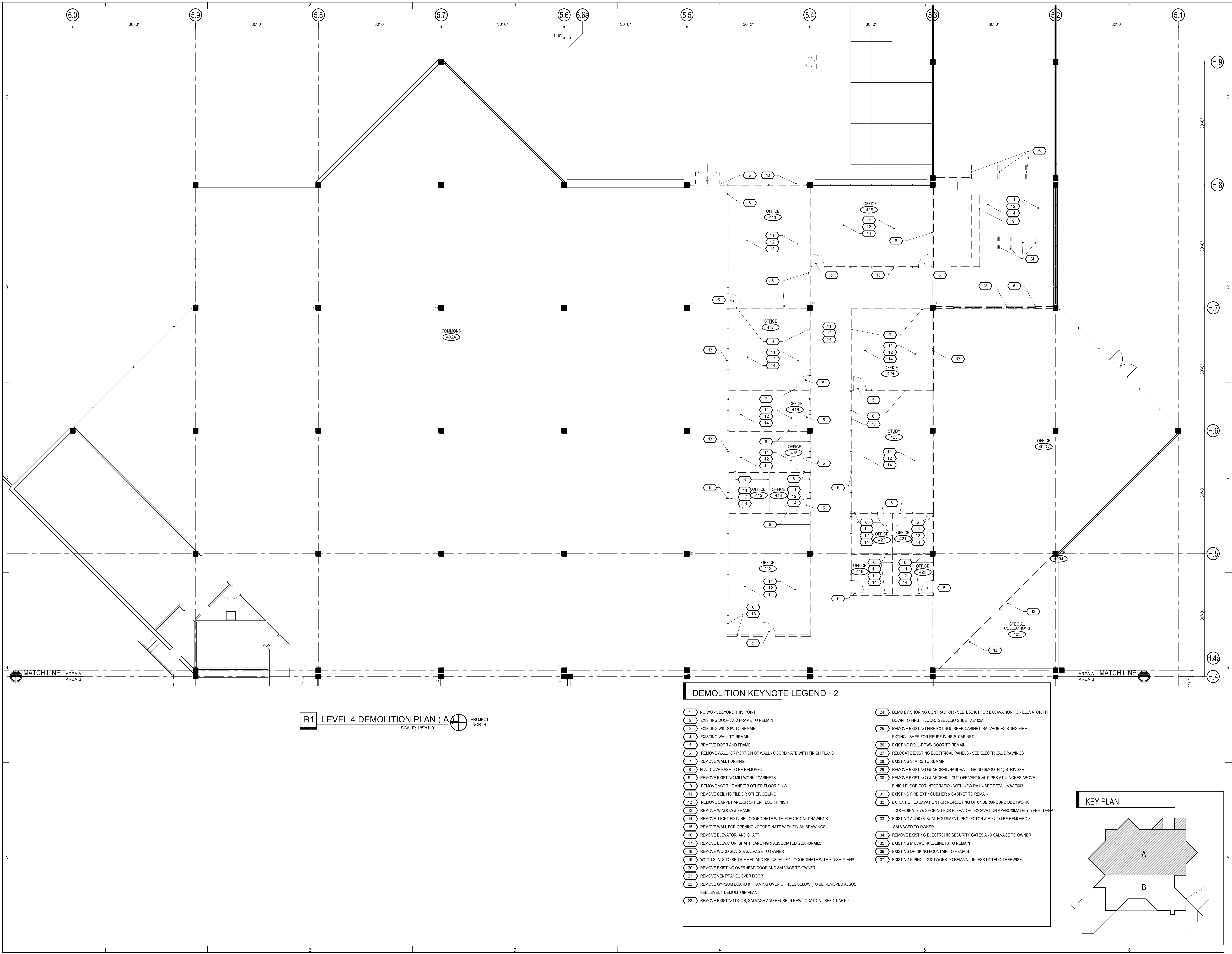
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LEVEL THREE
DEMOLITION PLAN

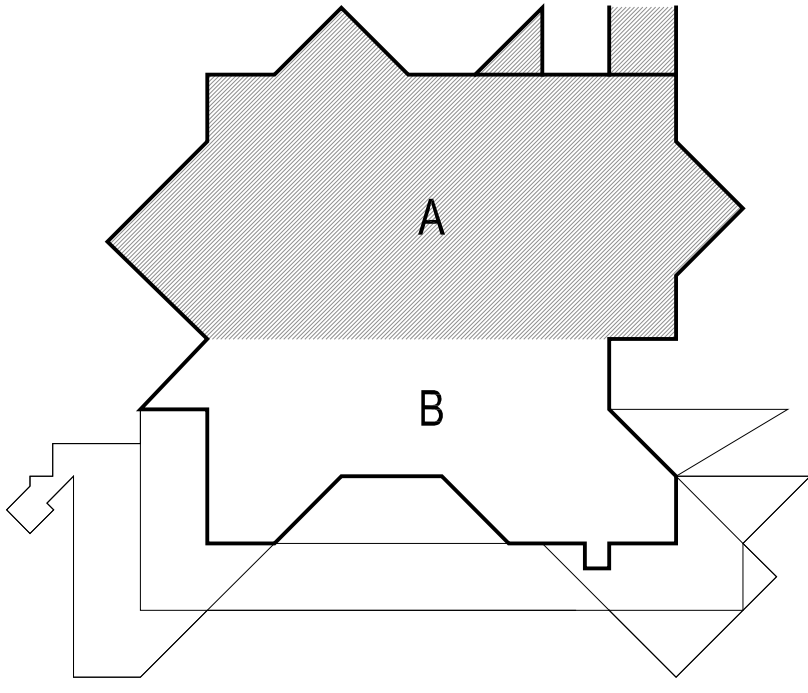
AD103



DEMOLITION KEYNOTE LEGEND - 2

- | | |
|---|---|
| 1 NO WORK BEYOND THIS POINT | 24 DEMO BY SHORING CONTRACTOR - SEE 1/SE101 FOR EXCAVATION FOR ELEVATOR PIT DOWN TO FIRST FLOOR. SEE ALSO SHEET AE102A |
| 2 EXISTING DOOR AND FRAME TO REMAIN | 25 REMOVE EXISTING FIRE EXTINGUISHER CABINET; SALVAGE EXISTING FIRE EXTINGUISHER FOR REUSE IN NEW CABINET |
| 3 EXISTING WINDOW TO REMAIN | 26 EXISTING ROLL-DOWN DOOR TO REMAIN |
| 4 EXISTING WALL TO REMAIN | 27 RELOCATE EXISTING ELECTRICAL PANELS - SEE ELECTRICAL DRAWINGS |
| 5 REMOVE DOOR AND FRAME | 28 EXISTING STAIRS TO REMAIN |
| 6 REMOVE WALL, OR PORTION OF WALL - COORDINATE WITH FINISH PLANS | 29 REMOVE EXISTING GUARDRAIL/HANDRAIL - GRIND SMOOTH @ STRINGER |
| 7 REMOVE WALL FURRING | 30 REMOVE EXISTING GUARDRAIL - CUT OFF VERTICAL PIPES AT 4 INCHES ABOVE FINISH FLOOR FOR INTEGRATION WITH NEW RAIL - SEE DETAIL A3/AE003 |
| 8 FLAT COVE BASE TO BE REMOVED | 31 EXISTING FIRE EXTINGUISHER & CABINET TO REMAIN |
| 9 REMOVE EXISTING MILLWORK / CABINETS | 32 EXTENT OF EXCAVATION FOR RE-ROUTING OF UNDERGROUND DUCTWORK - COORDINATE W/ SHORING FOR ELEVATOR, EXCAVATION APPROXIMATELY 5 FEET DEEP |
| 10 REMOVE VCT TILE AND/OR OTHER FLOOR FINISH | 33 EXISTING AUDIO-VISUAL EQUIPMENT, PROJECTOR & ETC. TO BE REMOVED & SALVAGED TO OWNER |
| 11 REMOVE CEILING TILE OR OTHER CEILING | 34 REMOVE EXISTING ELECTRONIC SECURITY GATES AND SALVAGE TO OWNER |
| 12 REMOVE CARPET AND/OR OTHER FLOOR FINISH | 35 EXISTING MILLWORK/CABINETS TO REMAIN |
| 13 REMOVE WINDOW & FRAME | 36 EXISTING DRINKING FOUNTAIN TO REMAIN |
| 14 REMOVE LIGHT FIXTURE - COORDINATE WITH ELECTRICAL DRAWINGS | 37 EXISTING PIPING / DUCTWORK TO REMAIN, UNLESS NOTED OTHERWISE |
| 15 REMOVE WALL FOR OPENING - COORDINATE WITH FINISH DRAWINGS | |
| 16 REMOVE ELEVATOR AND SHAFT | |
| 17 REMOVE ELEVATOR, SHAFT, LANDING & ASSOCIATED GUARDRAILS | |
| 18 REMOVE WOOD SLATS & SALVAGE TO OWNER | |
| 19 WOOD SLATS TO BE TRIMMED AND RE-INSTALLED - COORDINATE WITH FINISH PLANS | |
| 20 REMOVE EXISTING OVERHEAD DOOR AND SALVAGE TO OWNER | |
| 21 REMOVE VENT/PANEL OVER DOOR | |
| 22 REMOVE GYPSUM BOARD & FRAMING OVER OFFICES BELOW (TO BE REMOVED ALSO). SEE LEVEL 1 DEMOLITION PLAN | |
| 23 REMOVE EXISTING DOOR; SALVAGE AND REUSE IN NEW LOCATION - SEE C1/AE102 | |

KEY PLAN



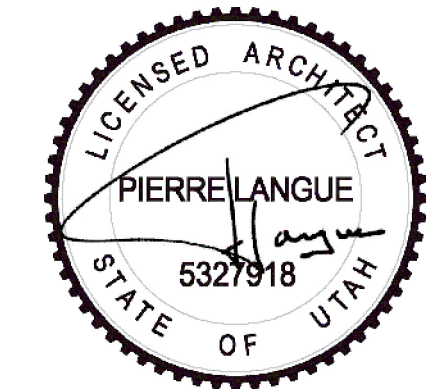
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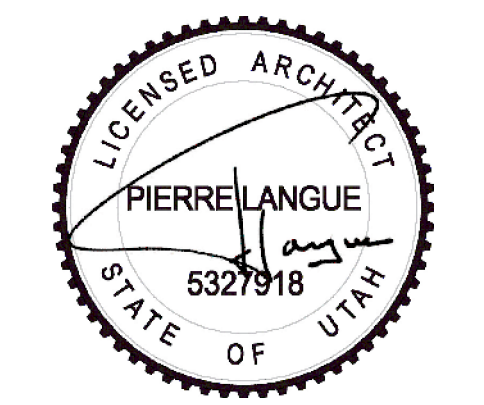
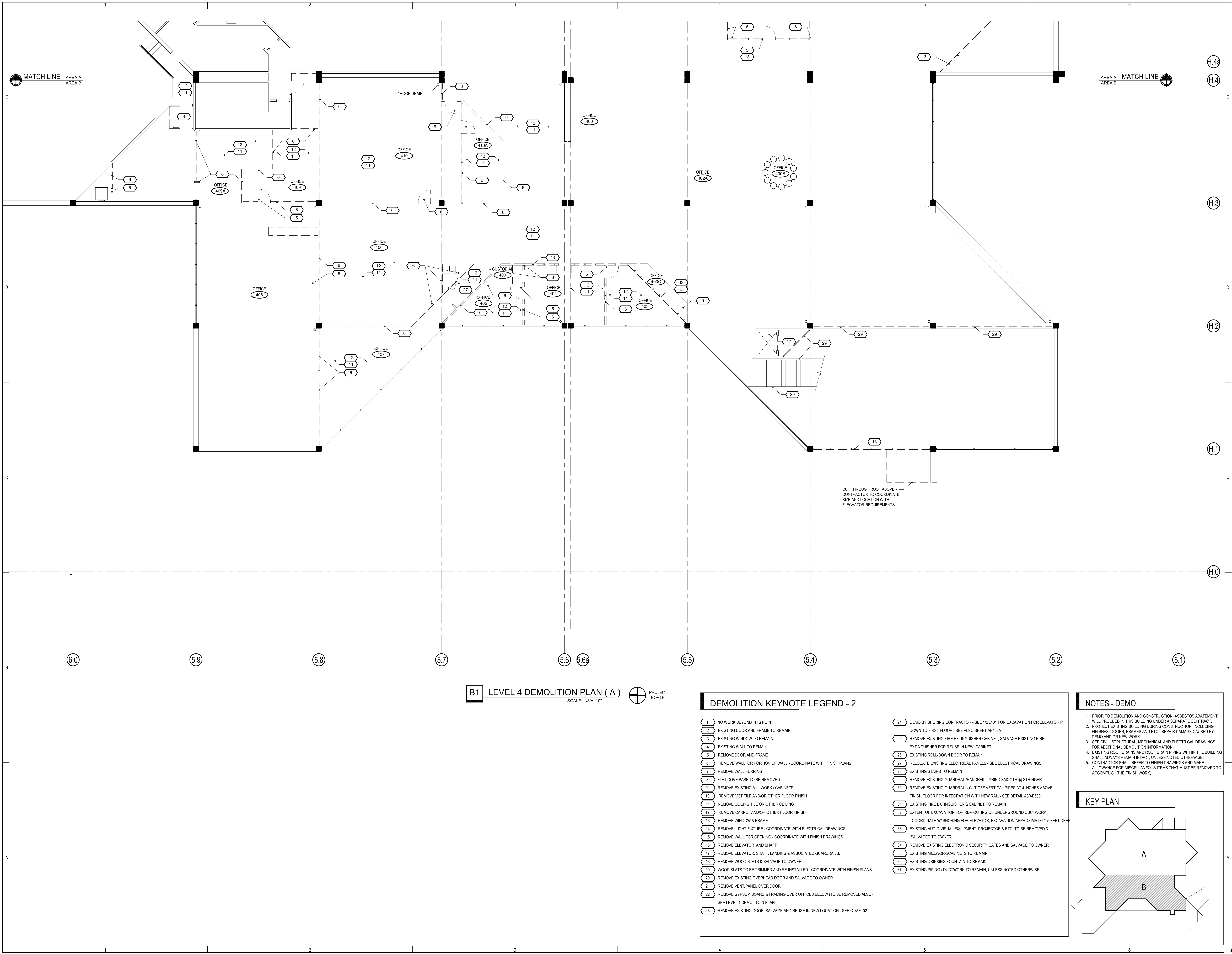
LEVEL FOUR
DEMOLITION PLAN

AD104A



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LEVEL FOUR
DEMOLITION PLAN



	3- CONCRETE
3A	FILL HOLE FROM ELEVATOR PIT W/ GRAVEL AND CAST NEW CONC. SLAB. SEE 6/ SE303
	5- METALS
5A	NEW PAINTED STEEL GUARDRAIL
5B	NEW PAINTED STEEL GUARDRAIL/HANDRAIL
5C	EXISTING STAIR W/ NEW GUARDRAIL / HANDRAIL
5D	STEEL ELEVATOR PIT LADDER - PAINTED, SEE D2/AE603
	6- WOOD:
6A	2x TREATED WOOD BLOCKING
6B	WOOD SHEATHING
6C	BAMBOO ELEMENT
	7- THERMAL AND MOISTURE PROTECTION:
7B	CONT. PREFINISHED METAL FLASHING
7C	CONT. PREFINISHED METAL FASCIA
7D	PREFINISHED METAL SOFFIT PANEL
7E	PREFINISHED ANNOXIDIZED BREAK METAL
	8 - DOORS AND WINDOWS:
8A	SCHEDULED DOOR AND FRAME
8B	SCHEDULED WINDOW SYSTEM
8C	OVERHEAD ROLL-DOWN GRILLE
8D	OVERHEAD ROLL-DOWN SMOKE DOOR
8E	PREFABRICATED TRANSLUCENT SKYLIGHT
8F	EXISTING DOOR / WINDOW FRAME

WALLS DESIGNATED WITH THIS LINE TYPE TO MEET REQUIREMENTS OF 1 HR FIRE RATING, AND MUST BE RUN TO BOTTOM OF STRUCTURE

PATTERN DENOTES 3/8" METAL STUD WITH PAINTED 5/8" GYP. BD. BOTH SIDES, WITH ACOUSTICAL BATT INSULATION, TO 1" ABOVE ADJ. CL.C. 6 INCH METAL STUDS WHERE INDICATED BY SYMBOL WITH THE NUMBER 6

PATTERN DENOTES 3/8" METAL STUD WITH PAINTED 5/8" GYP. BD. BOTH SIDES, WITH ACOUSTICAL BATT INSULATION, TO STRUCTURAL DECK ABOVE. 6 INCH METAL STUDS WHERE INDICATED BY SYMBOL WITH THE NUMBER 6

THIS PATTERN WHERE INDICATED BY A SYMBOL, WITH THE LETTER "R" DENOTES 3/8" METAL STUD WALL WITH PAINTED 5/8" GYP. BD. BOTH SIDES, WITH ACOUSTICAL BATT INSULATION, TO 1"-0" ABOVE FINISH FLOOR. THE TOP 1 FOOT OF THIS WALL SHALL RECEIVE SALVAGED V.G. FR. FROM REMOVED WALLS AND/OR LIGHT FIXTURES. 6 INCH METAL STUDS WHERE INDICATED BY SYMBOL WITH THE NUMBER 6, BRACE THE TOP OF THE WALL TO THE INTERIOR SIDE, SIMILAR TO DETAIL A2/6501.

WALL:

1. PAINTED GYP BOARD - WHITE
2. PAINTED GYP BOARD - ACCENT COLOR
3. SEALED ARCHITECTURAL CONCRETE
4. SEALED CONCRETE - CRACKING WHERE OCCURS
5. PAINTED CONCRETE

FLOOR:

- F1 CARPET TILE
- F2 SEALED CONCRETE
- F3 EXISTING FLOOR FINISH
- F4 VESTIBULE WALK-OFF MAT

BASE:

B1 RUBBER BASE

DETAIL:

1. MATERIALS IN SIMILAR LOCATIONS ARE NOT KEYNOTED AT EVERY OCCURRENCE.

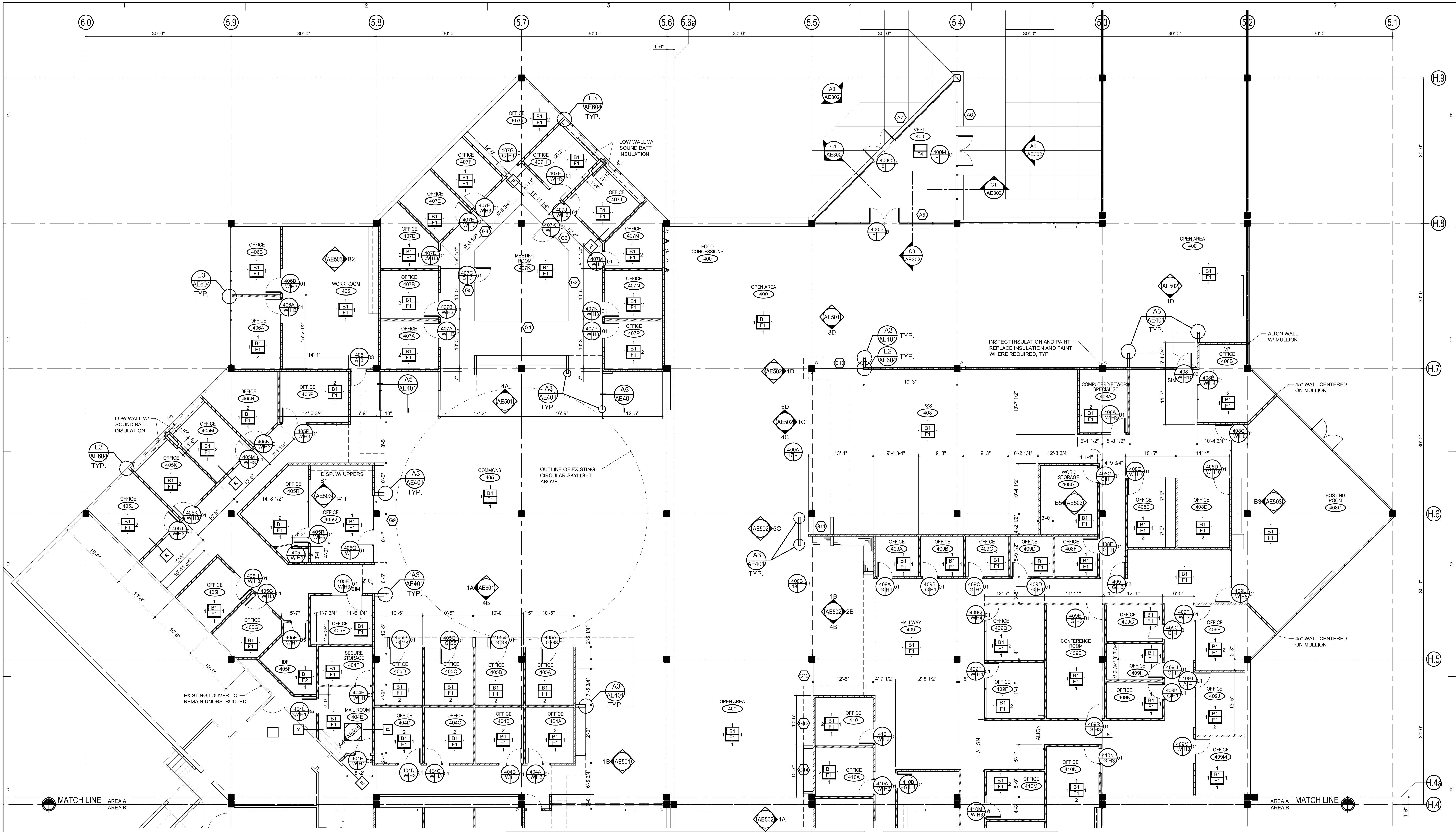
2. FLOOR FINISHES ARE TO EXTEND UNDER CASEWORK AND EQUIPMENT, OR TO WALL AT OPEN COUNTERTOPS, TYPICAL.

3. PROVIDE CONCRETE MORTAR-SEALER ALL AREAS TO RECEIVE VCT OR POLYURETHANE, WALL-OFF MAT AND/OR RUBBER FLOORING.

4. PAINT DOOR FRAMES (SPRAY - TYP.) BOTH SIDES @ EACH EXISTING DOOR THAT RECEIVES NEW HARDWARE OR THAT OCCURS IN A WALL THAT IS SCHEDULED FOR NEW PAINT / FINISHES.

5. EXISTING EXPOSED CONCRETE WALL TO REMAIN - UNPAINTED - U.N.O.

1. ALL EXISTING PIPING, DUCTWORK, ROOF DRAIN LINES, ETC. SHALL REMAIN UNLESS NOTED OTHERWISE - COORDINATE WITH MECHANICAL DRAWINGS.
2. EXISTING EXTERIOR WINDOWS TO REMAIN U.N.O. WITH A WINDOW SYMBOL.



KEYNOTE LEGEND (1A)

- | | |
|---|---|
| 3- CONCRETE
3A FILL HOLE FROM ELEVATOR PIT W/ GRAVEL AND CAST NEW CONC. SLAB. SEE 6/ SE303
5- METALS
5A NEW PAINTED STEEL GUARDRAIL
5B NEW PAINTED STEEL GUARDRAIL/HANDRAIL
5C EXISTING STAIR W/ NEW GUARDRAIL / HANDRAIL
5D STEEL ELEVATOR PIT LADDER - PAINTED, SEE D2/AE503
6- WOOD:
6A 2x TREATED WOOD BLOCKING
6B WOOD SHEATHING
6C BAMBOO ELEMENT
7- THERMAL AND MOISTURE PROTECTION:
7B CONT. PREFINISHED METAL FLASHING
7C CONT. PREFINISHED METAL FASCIA
7D PREFINISHED METAL SOFFIT PANEL
7E PREFINISHED ANNOXIDIZED BREAK METAL
8- DOORS AND WINDOWS:
8A SCHEDULED DOOR AND FRAME
8B SCHEDULED WINDOW SYSTEM
8C OVERHEAD ROLL-DOWN GRILLE
8D OVERHEAD ROLL-DOWN SMOKE DOOR
8E PREFABRICATED TRANSLUCENT SKYLIGHT
8F EXISTING DOOR / WINDOW FRAME | 9- FINISHES:
9A 5/8" GYP. BOARD, PAINTED
9B 3 5/8" METAL STUD WALL - SEE WALL TYPES LEGEND
9C 6" METAL STUD WALL - SEE WALL TYPES LEGEND
9D EXISTING GYPSUM BOARD WALL - PATCH, REPAIR & PAINT
10- SPECIALTIES:
10A WALL CABINET
10B NEW SEM-RECESSED FIRE EXTINGUISHER CABINET
10C EXISTING FIRE EXTINGUISHER & CABINET TO REMAIN
10D EXISTING WOOD CABINET
12- FURNISHINGS:
12E CASEWORK
12F FURNITURE N.I.C.
14- CONVEYING SYSTEMS
14A ELEVATOR EQUIPMENT OR SYSTEM
15- MECHANICAL:
15A MECH. LOUVER - PAINTED
15B EXISTING MECH. FLOOR REGISTER
15C EXISTING PIPING
15D SUMP PUMP AND PIT
15E FIRE RISER
15F DRINKING FOUNTAIN / WATER COOLER - SEE MECH.
16- ELECTRICAL:
16A LIGHT FIXTURE - SEE SCHEDULE |
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WALL TYPE LEGEND

- WALLS DESIGNATED WITH THIS LINE TYPE TO MEET REQUIREMENTS OF 1 HR FIRE RATINGS, AND MUST BE RUN TO BOTTOM OF STRUCTURE
- PATTERN DENOTES 3 5/8" METAL STUD WITH PAINTED 5/8" GYP. BD. BOTH SIDES, WITH ACOUSTICAL BATT INSULATION, TO 6" ABOVE ADJ. CLG - 6 INCH METAL STUDS WHERE INDICATED BY SYMBOL WITH THE NUMBER 6
- PATTERN DENOTES 3 5/8" METAL STUD WITH PAINTED 5/8" GYP. BD. BOTH SIDES, WITH ACOUSTICAL BATT INSULATION, TO STRUCTURAL DECK ABOVE. 6 INCH METAL STUDS WHERE INDICATED BY SYMBOL WITH THE NUMBER 6. BRACE THE TOP OF THE WALL TO THE INTERIOR SIDE, SIMILAR TO DETAIL A2/AE601.
- THIS PATTERN WHERE INDICATED BY A SYMBOL WITH THE LETTER "R" DENOTES 3 5/8" METAL STUD WALL WITH PAINTED 5/8" GYP. BD. BOTH SIDES, WITH ACOUSTICAL BATT INSULATION, TO 11" OF ABOVE FINISH FLOOR, THE TOP 1 FOOT OF THIS WALL SHALL RECEIVE SALVAGED V.G. FIR FROM REMOVED WALLS AND/OR LIGHT FIXTURES - 6 INCH METAL STUDS WHERE INDICATED BY SYMBOL WITH THE NUMBER 6. BRACE THE TOP OF THE WALL TO THE INTERIOR SIDE, SIMILAR TO DETAIL A2/AE601.
- DOUBLE LINE WITHOUT PATTERN INDICATES EXISTING WALLS
- INDICATES EXISTING COLUMNS
- PROVIDE SOUND BATT INSULATION AT ALL INTERIOR STUD WALLS.
 - ALL WALLS SEPARATING INTERIOR HEATED SPACES FROM NON-HEATED SPACES OR SEMI-HEATED SPACES TO RECEIVE R-19 BATT INSULATION, AND INFILTRATION BARRIER AT THE EXTERIOR AND VAPOR BARRIER AT THE WARM SIDE OF BATT INSULATION.
 - FRAMED HEADER @ ALL DOOR AND OR GLASS FRAMES TYP.
 - ALL DIMENSION FROM COLUMN CENTER LINES TO FINISH FACE OF WALL WHERE APPLICABLE U.N.O. ALL DOORS AT PERPENDICULAR WALL TO BE 4" FROM ADJACENT WALL, SEE DETAIL A3/AE604.
 - ALL WALLS ARE PERPENDICULAR OR 45°.
 - DOOR FRAMES MAY REQUIRE A FRAMED WALL BELOW PORTIONS OF THE FRAME.

B1 LEVEL 4 FLOOR PLAN (A)

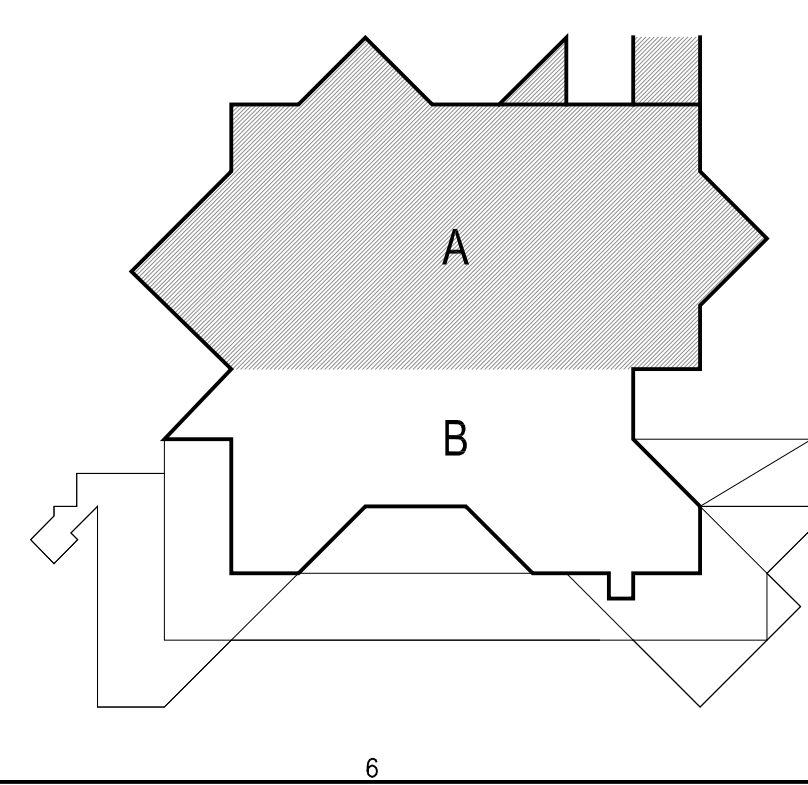
SCALE: 1/8"=1'-0"



FINISH LEGEND

- WALL: 1 PAINTED GYP BOARD - WHITE
2 PAINTED GYP BOARD - ACCENT COLOR
3 SEALED ARCHITECTURAL CONCRETE
4 SEALED CONCRETE - EXISTING WHERE OCCURS
5 PAINTED CONCRETE
- FLOOR: F1 CARPET TILE
F2 SEALED CONCRETE
F3 EXISTING FLOOR FINISH
F4 VESTIBULE WALK-OFF MAT
- BASE: B1 RUBBER BASE
- MATERIALS IN SIMILAR LOCATIONS ARE NOT KEYNOTED AT EVERY OCCURRENCE.
 - FLOOR FINISHES ARE TO EXTEND UNDER CASEWORK AND EQUIPMENT, OR TO WALL AT OPEN COUNTERS TYPICAL.
 - PROVIDE CONCRETE MOISTURE SEALER ALL AREAS TO RECEIVE VCT, CARPET, SHEET VINYL, WALK-OFF MAT AND/OR RUBBER FLOORING.
 - PAIN DOOR FRAMES (SPRAY - TYP.) BOTH SIDES @ EACH EXISTING DOOR THAT RECEIVES NEW HARDWARE OR THAT OCCURS IN A WALL THAT IS SCHEDULED FOR NEW PAINT FINISHES.
 - EXISTING EXPOSED CONCRETE WALL TO REMAIN - UNPINTED - U.N.O.

KEY PLAN



UTAH VALLEY UNIVERSITY Losee Center Remodel

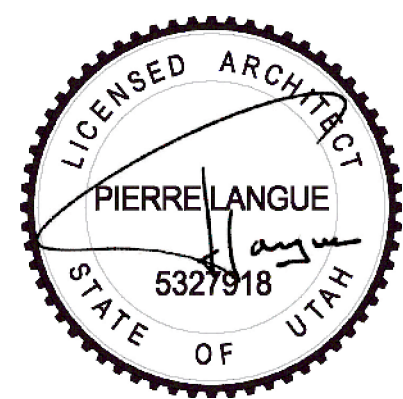
Orem, Utah

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Date 07-16-2008
Drawn
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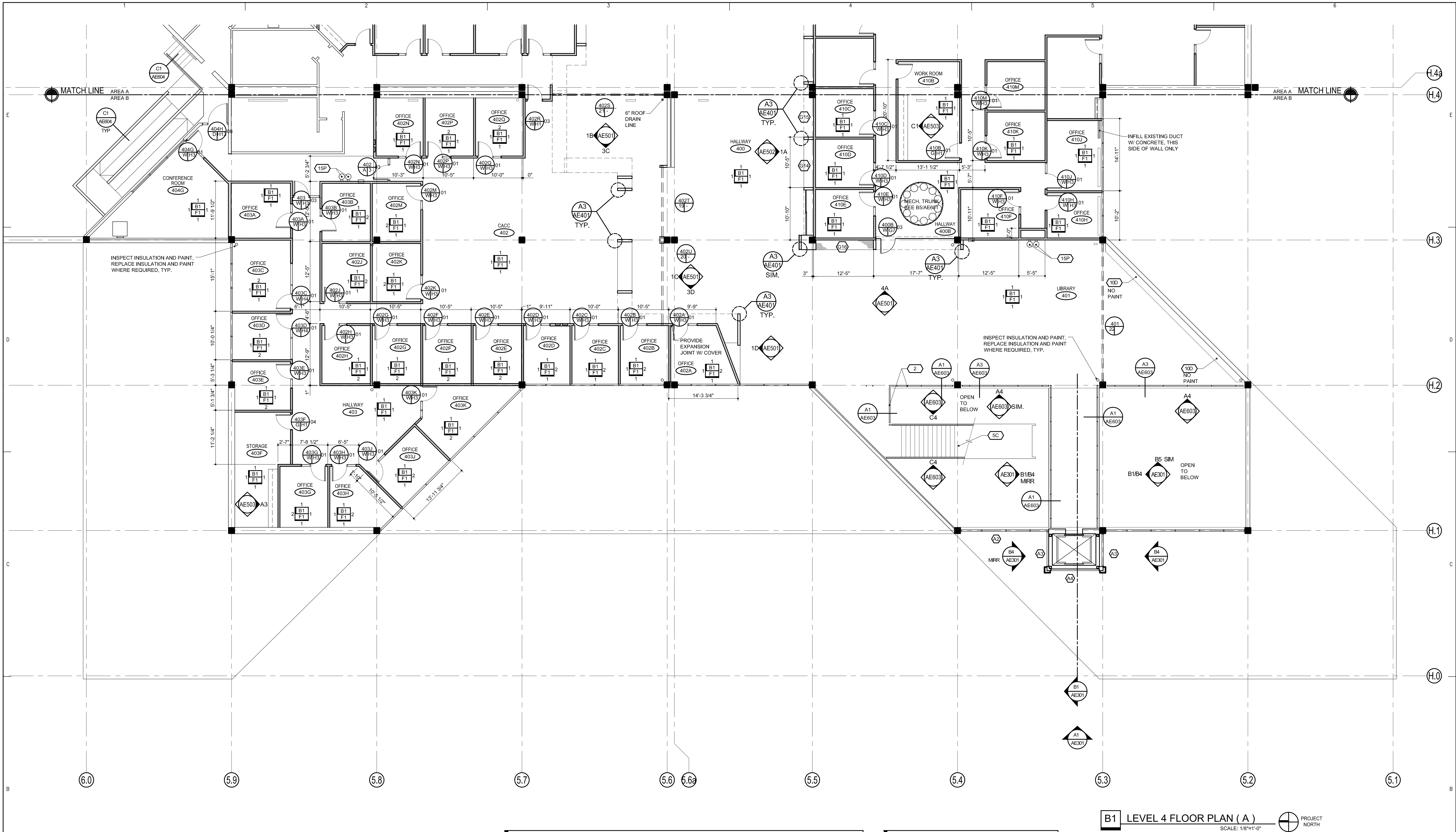
LEVEL FOUR
FLOOR PLAN

AE104A



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352 SOUTH DENVER STREET (440 EAST)
SALT LAKE CITY
UTAH 84111
P. 355-3003
F. 355-0113



NOTES - PLAN

- ALL EXISTING PIPING, DUCTWORK, ROOF DRAIN LINES, ETC. SHALL REMAIN UNLESS NOTED OTHERWISE - COORDINATE WITH MECHANICAL DRAWINGS.
- EXISTING EXTERIOR WINDOWS TO REMAIN U.N.O. WITH A WINDOW SYMBOL.

KEYNOTE LEGEND 1A

- 3- CONCRETE
- 3A FILL HOLE FROM ELEVATOR PIT W/ GRAVEL AND CAST NEW CONC. SLAB. SEE 6/ SE303
- 5- METALS
- 5A NEW PAINTED STEEL GUARDRAIL
- 5B NEW PAINTED STEEL GUARDRAIL/HANDRAIL
- 5C EXISTING STAIR W/ NEW GUARDRAIL / HANDRAIL
- 5D STEEL ELEVATOR PIT LADDER - PAINTED, SEE D2/AE603
- 6- WOOD:
- 6A 2x TREATED WOOD BLOCKING
- 6B WOOD SHEATHING
- 6C BAMBOO ELEMENT
- 7- THERMAL AND MOISTURE PROTECTION:
- 7B CONT. PREFINISHED METAL FLASHING
- 7C CONT. PREFINISHED METAL FASCIA
- 7D PREFINISHED METAL SOFFIT PANEL
- 7E PREFINISHED ANODIZED BREAK METAL
- 8- DOORS AND WINDOWS:
- 8A SCHEDULED DOOR AND FRAME
- 8B SCHEDULED WINDOW SYSTEM
- 8C OVERHEAD ROLL-DOWN GRILLE
- 8D OVERHEAD ROLL-DOWN SMOKE DOOR
- 8E PREFABRICATED TRANSLUCENT SKYLIGHT
- 8F EXISTING DOOR / WINDOW FRAME
- 9- FINISHES:
- 9A 5/8" GYP. BOARD, PAINTED
- 9B 3 5/8" METAL STUD WALL - SEE WALL TYPES LEGEND
- 9C 6" METAL STUD WALL - SEE WALL TYPES LEGEND
- 9D EXISTING GYPSUM BOARD WALL - PATCH, REPAIR & PAINT
- 10- SPECIALTIES:
- 10A WALL CABINET
- 10B NEW SEMI-RECESSED FIRE EXTINGUISHER CABINET
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- 10D EXISTING WOOD CABINET
- 12- FURNISHINGS:
- 12E CASEWORK
- 12F FURNITURE N.I.C.
- 14- CONVEYING SYSTEMS
- 14A ELEVATOR EQUIPMENT OR SYSTEM
- 15- MECHANICAL:
- 15A MECH. LOUVER - PAINTED
- 15B EXISTING MECH. FLOOR REGISTER
- 15C EXISTING PIPING
- 15D SUMP PUMP AND PIT
- 15N FIRE RISER
- 15P DRINKING FOUNTAIN / WATER COOLER - SEE MECH.
- 16- ELECTRICAL:
- 16A LIGHT FIXTURE - SEE SCHEDULE

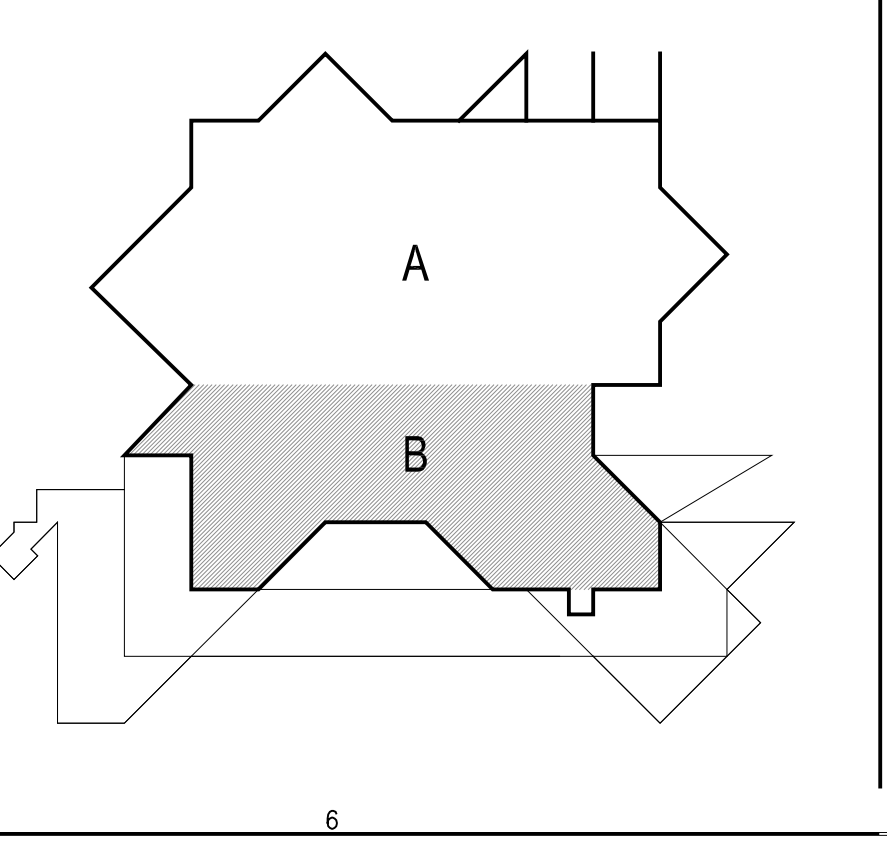
WALL TYPE LEGEND

- WALLS DESIGNATED WITH THIS LINE TYPE TO MEET REQUIREMENTS OF 1 HR FIRE RATINGS, AND MUST BE RUN TO BOTTOM OF STRUCTURE
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- THIS PATTERN WHERE INDICATED BY A SYMBOL WITH THE LETTER 'R' DENOTES 3 5/8" METAL STUD WALL WITH PAINTED 5/8" GYP. BD. BOTH SIDES, WITH ACOUSTICAL BATT INSULATION, TO 11" ABOVE FINISH FLOOR. THE TOP 1 FOOT OF THIS WALL SHALL RECEIVE SALVAGED V.G. FR FROM REMOVED WALLS AND/OR LIGHT FIXTURES - 6 INCH METAL STUDS WHERE INDICATED BY SYMBOL WITH THE NUMBER 6, BRACE THE TOP OF THE WALL TO THE INTERIOR SIDE, SIMILAR TO DETAIL A2/AE601.
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- INDICATES EXISTING COLUMNS
- PROVIDE SOUND BATT INSULATION AT ALL INTERIOR STUD WALLS. ALL WALLS SEPARATING INTERIOR HEATED SPACES FROM NON-HEATED SPACES OR SEMI-HEATED SPACES TO RECEIVE R-19 BATT INSULATION, AND INFILTRATION BARRIER AT THE EXTERIOR AND VAPOR BARRIER AT THE WARM SIDE OF BATT INSULATION. FRAMED HEADER @ ALL DOOR AND OR GLASS FRAMES TYP. ALL DIMENSION FROM COLUMN CENTER LINES TO FINISH FACE OF WALL WHERE APPLICABLE, U.N.O. ALL DOORS AT PERPENDICULAR WALL TO BE 4" FROM ADJACENT WALL, SEE DETAIL A5/AE604. ALL WALLS ARE PERPENDICULAR OR 45°. DOOR FRAMES H4 REQUIRE A FRAMED WALL BELOW PORTIONS OF THE FRAME.

B1 LEVEL 4 FLOOR PLAN (A)

- SCALE: 1/8"=1'-0"
- PROJECT NORTH
- FINISH LEGEND
- WALL:
- 1 PAINTED GYP BOARD - WHITE
- 2 PAINTED GYP BOARD - ACCENT COLOR
- 3 SEALED ARCHITECTURAL CONCRETE
- 4 SEALED CONCRETE - EXISTING WHERE OCCURS
- 5 PAINTED CONCRETE
- FLOOR:
- F1 CARPET TILE
- F2 SEALED CONCRETE
- F3 EXISTING FLOOR FINISH
- F4 VESTIBULE WALK-OFF MAT
- BASE:
- B1 RUBBER BASE
1. MATERIALS IN SIMILAR LOCATIONS ARE NOT KEYNOTED AT EVERY OCCURRENCE.
2. FLOOR FINISHES ARE TO EXTEND UNDER CASEWORK AND EQUIPMENT, OR TO WALL AT OPEN COUNTERS, TYPICAL.
3. PROVIDE CONCRETE MOISTURE SEALER ALL AREAS TO RECEIVE VCT, CARPET, SHEET VINYL, WALK-OFF MAT AND/OR RUBBER FLOORING.
4. PAINT DOOR FRAMES SPRAY - TYP. BOTH SIDES @ EACH EXISTING DOOR THAT RECEIVES NEW HARDWARE OR THAT OCCURS IN A WALL THAT IS SCHEDULED FOR NEW PAINT / FINISHES.
5. EXISTING EXPOSED CONCRETE WALL TO REMAIN - UNPINTED - U.N.O.

KEY PLAN



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Orem, Utah

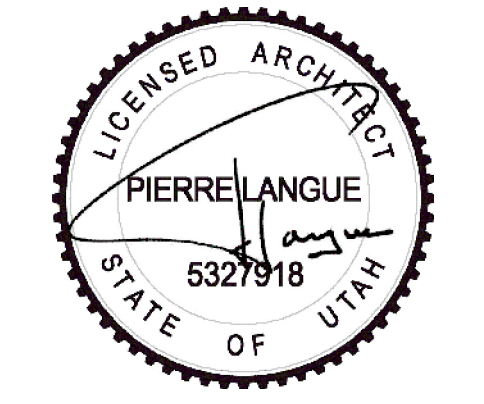
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1. 07/16/2008

Axis Job # 0719
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Date 07-16-2008
Drawn
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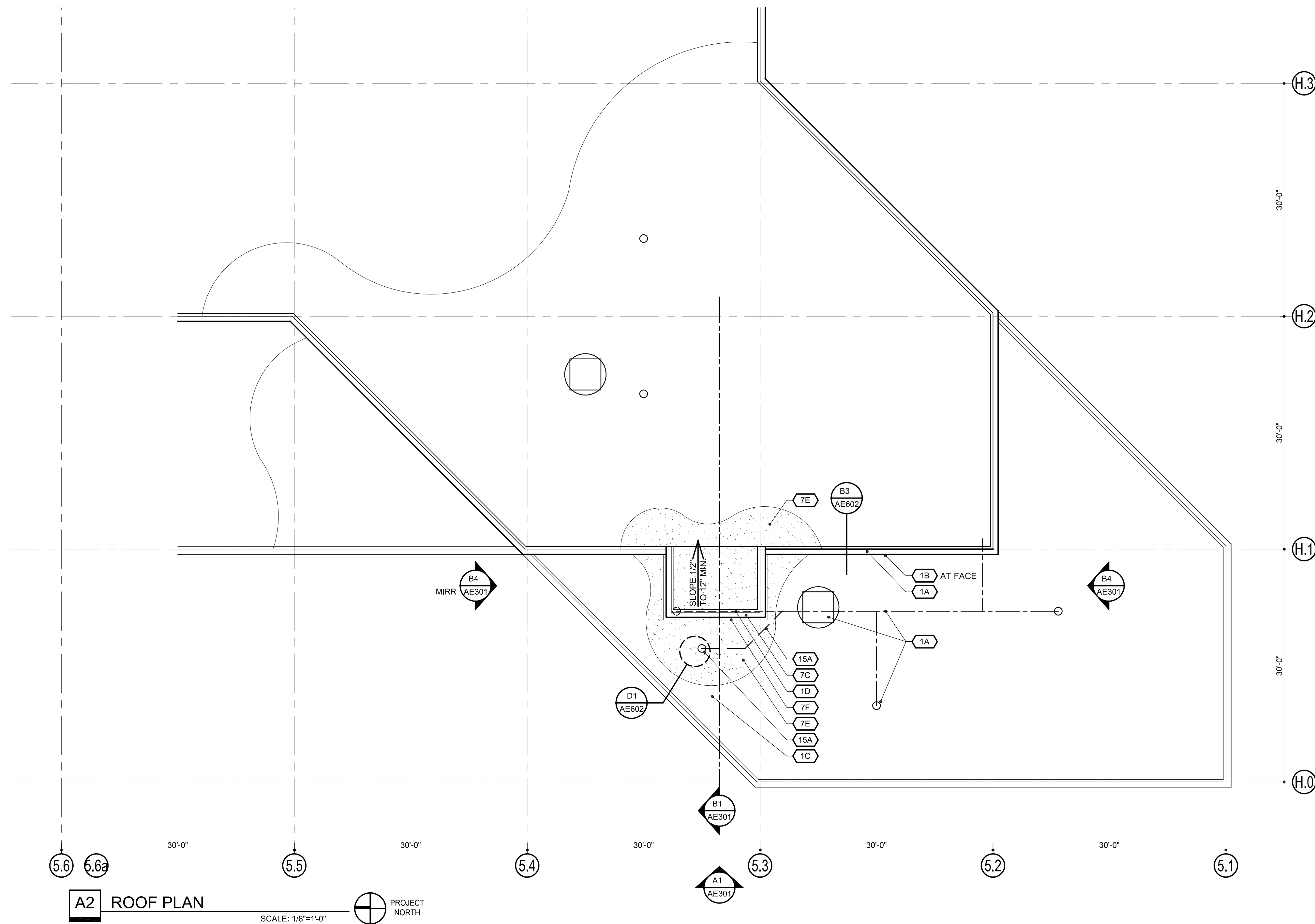
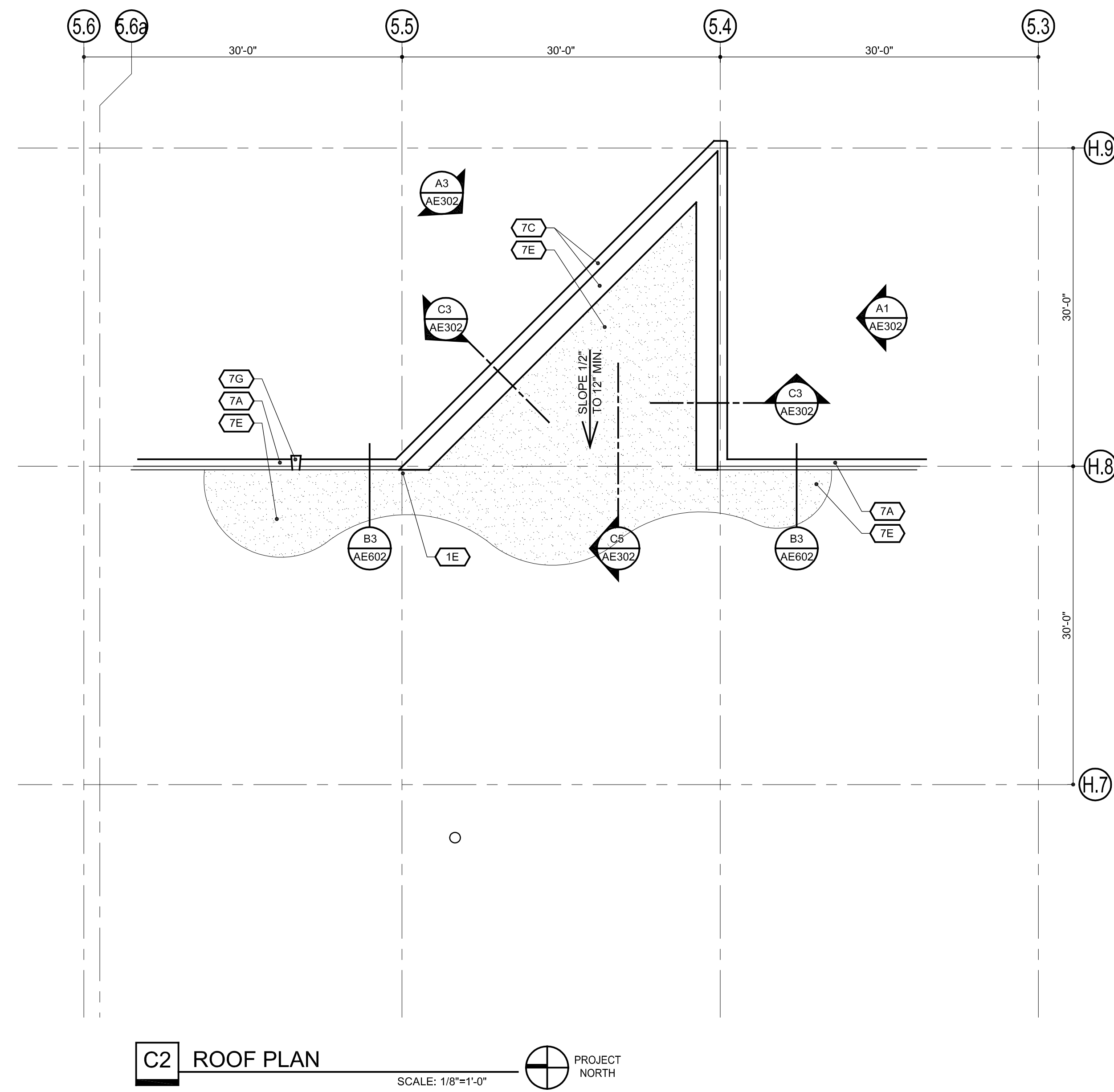
LEVEL FOUR
FLOOR PLAN

AE104B



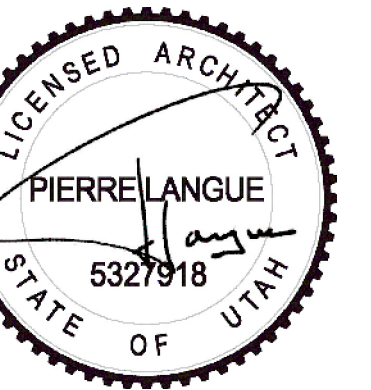
Axis Architects

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KEYNOTE LEGEND - ROOF PLAN

1 - DEMOLITION	
1A	EXISTING ELEMENT, CONSTRUCTION, OR SYSTEM TO REMAIN
1B	REMOVE EXISTING LETTERING, PATCH CONCRETE, REINSTATE
1C	MODIFY EXISTING JOIST
1D	REMOVE EXISTING DRAIN AND LINE
1E	REMOVE EXISTING SCUPPER
7 - THERMAL AND MOISTURE PROTECTION	
7A	PRE-FINISHED METAL FLASHING, COUNTER FLASHING, SEE B3/A602
7B	PRE-FINISHED COUNTER FLASHING AND EMBEDDED REGLET
7C	PRE-FINISHED METAL FLASHING
7D	PRE-FINISHED METAL COUNTER FLASHING
7E	SINGLE PLY ROOFING MEMBRANE W/ BALLAST
7F	CANT STRIP AT ROOFING/WALL JUNCTION
7G	SCUPPER TO REPLACE EXISTING
15 - MECHANICAL	
15A	ROOF DRAIN AND LINE, CONNECTED TO EXISTING



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Revision # Date

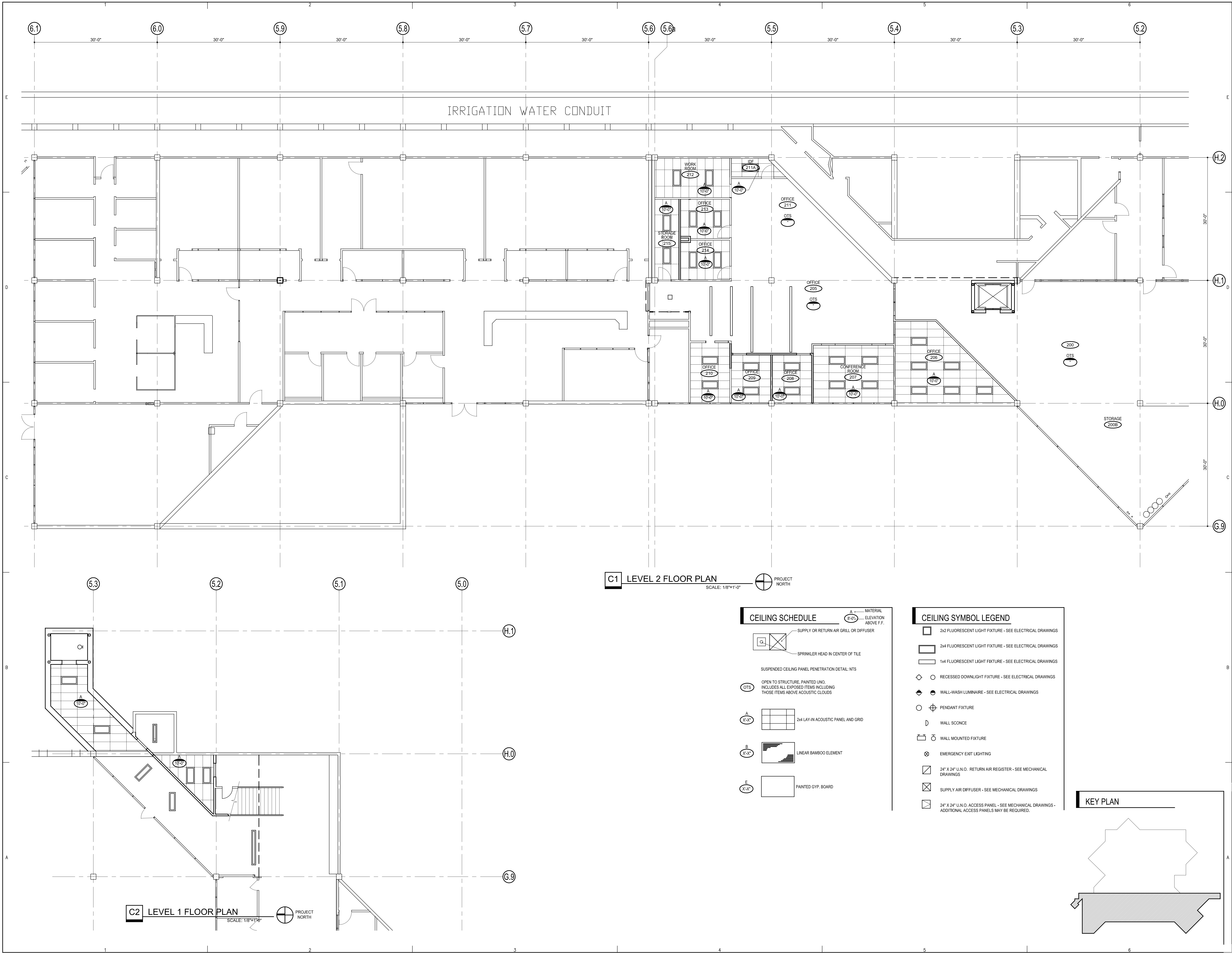
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Date	07-16-2008
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LEVEL FOUR
FLOOR PLAN

AE105

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UTAH 84111
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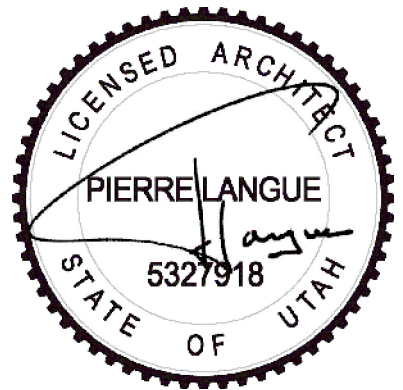


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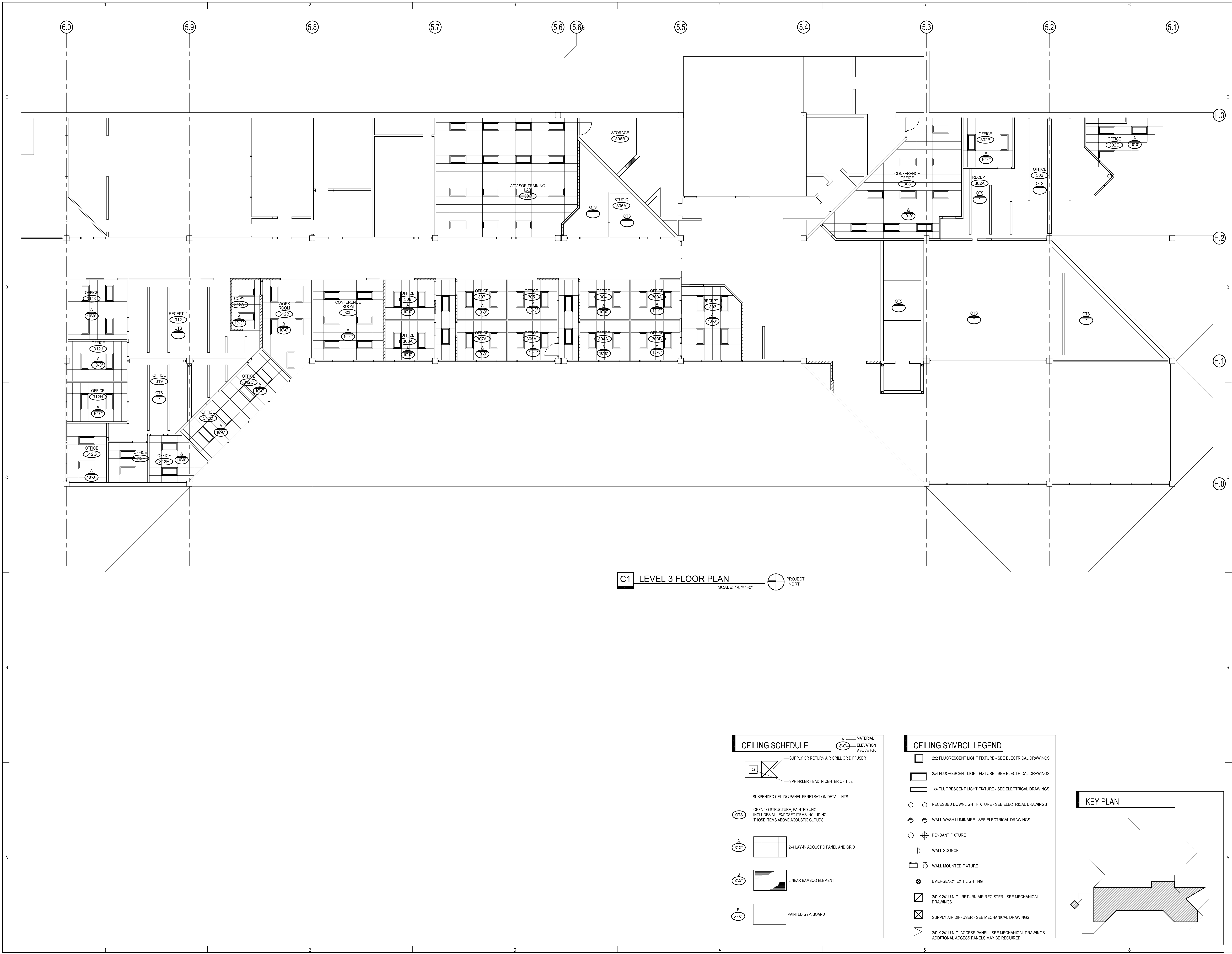
LEVEL 2
REFLECTED CEILING PLAN

AE112



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352 SOUTH DENVER STREET (440 EAST) SALT LAKE CITY, UTAH 84111 P. 355-3003 F. 355-0113



C1 LEVEL 3 FLOOR PLAN
SCALE: 1/8"=1'-0"

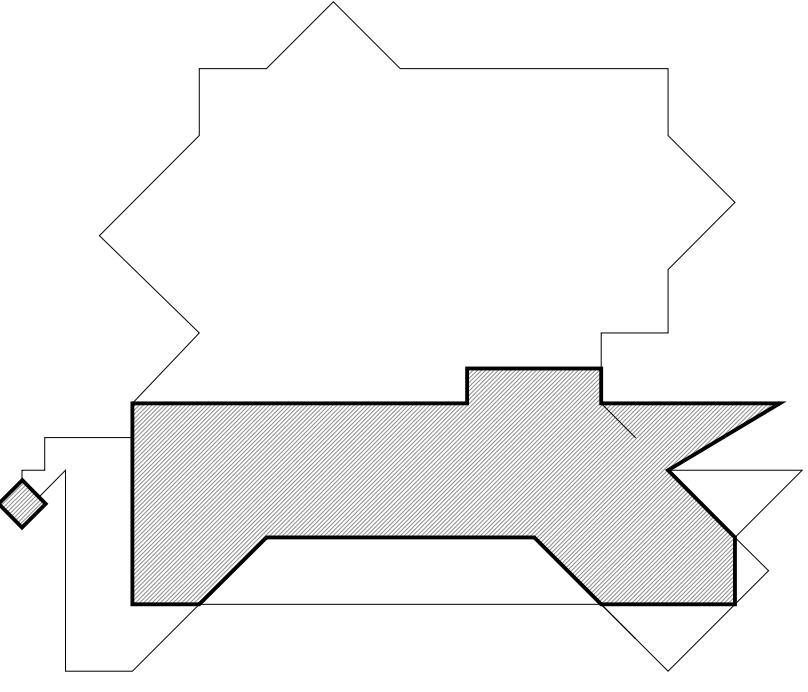
CEILING SCHEDULE

	2x2 FLUORESCENT LIGHT FIXTURE - SEE ELECTRICAL DRAWINGS
	2x4 FLUORESCENT LIGHT FIXTURE - SEE ELECTRICAL DRAWINGS
	1x4 FLUORESCENT LIGHT FIXTURE - SEE ELECTRICAL DRAWINGS
	RECESSED DOWNLIGHT FIXTURE - SEE ELECTRICAL DRAWINGS
	WALL-WASH LUMINAIRE - SEE ELECTRICAL DRAWINGS
	PENDANT FIXTURE
	WALL SCONCE
	WALL MOUNTED FIXTURE
	EMERGENCY EXIT LIGHTING
	24" X 24" U.N.O. RETURN AIR REGISTER - SEE MECHANICAL DRAWINGS
	SUPPLY AIR DIFFUSER - SEE MECHANICAL DRAWINGS
	24" X 24" U.N.O. ACCESS PANEL - SEE MECHANICAL DRAWINGS - ADDITIONAL ACCESS PANELS MAY BE REQUIRED.

CEILING SYMBOL LEGEND

	2x2 FLUORESCENT LIGHT FIXTURE - SEE ELECTRICAL DRAWINGS
	2x4 FLUORESCENT LIGHT FIXTURE - SEE ELECTRICAL DRAWINGS
	1x4 FLUORESCENT LIGHT FIXTURE - SEE ELECTRICAL DRAWINGS
	RECESSED DOWNLIGHT FIXTURE - SEE ELECTRICAL DRAWINGS
	WALL-WASH LUMINAIRE - SEE ELECTRICAL DRAWINGS
	PENDANT FIXTURE
	WALL SCONCE
	WALL MOUNTED FIXTURE
	EMERGENCY EXIT LIGHTING
	24" X 24" U.N.O. RETURN AIR REGISTER - SEE MECHANICAL DRAWINGS
	SUPPLY AIR DIFFUSER - SEE MECHANICAL DRAWINGS
	24" X 24" U.N.O. ACCESS PANEL - SEE MECHANICAL DRAWINGS - ADDITIONAL ACCESS PANELS MAY BE REQUIRED.

KEY PLAN

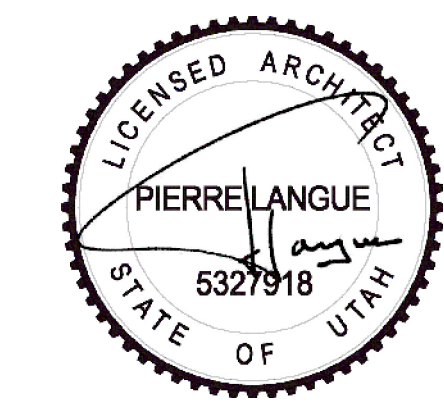


UTAH VALLEY UNIVERSITY
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Orem, Utah

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LEVEL THREE
REFLECTED CEILING PLAN

AE113



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SALT LAKE CITY, UTAH 84111
P. 355-3003 F. 355-0113



B1 LEVEL 4 FLOOR PLAN (A)
SCALE: 1/8"=1'-0"



NOTES-CEILING

1. SEE MECHANICAL DRAWINGS FOR EXISTING DUCTWORK AND PIPING LOCATIONS.

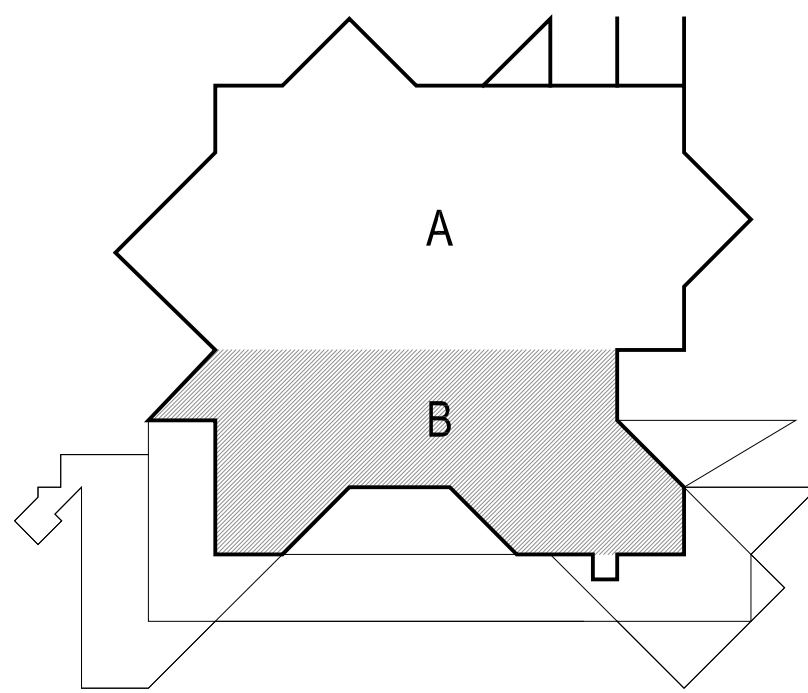
CEILING SCHEDULE

	SUPPLY OR RETURN AIR GRILL OR DIFFUSER
	SPRINKLER HEAD IN CENTER OF TILE
	SUSPENDED CEILING PANEL PENETRATION DETAIL-NTS
	OPEN TO STRUCTURE, PAINTED U.N.O. INCLUDES ALL EXPOSED ITEMS INCLUDING THOSE ITEMS ABOVE ACOUSTIC CLOUDS
	2x4 LAY-IN ACOUSTIC PANEL AND GRID
	LINEAR BAMBOO ELEMENT
	PAINTED GYP. BOARD

CEILING SYMBOL LEGEND

	2x2 FLUORESCENT LIGHT FIXTURE - SEE ELECTRICAL DRAWINGS
	2x4 FLUORESCENT LIGHT FIXTURE - SEE ELECTRICAL DRAWINGS
	1x4 FLUORESCENT LIGHT FIXTURE - SEE ELECTRICAL DRAWINGS
	RECESSED DOWNLIGHT FIXTURE - SEE ELECTRICAL DRAWINGS
	WALL-WASH LUMINAIRE - SEE ELECTRICAL DRAWINGS
	PENDANT FIXTURE
	WALL SCONCE
	WALL MOUNTED FIXTURE
	EMERGENCY EXIT LIGHTING
	24" X 24" U.N.O. RETURN AIR REGISTER - SEE MECHANICAL DRAWINGS
	SUPPLY AIR DIFFUSER - SEE MECHANICAL DRAWINGS
	24" X 24" U.N.O. ACCESS PANEL - SEE MECHANICAL DRAWINGS - ADDITIONAL ACCESS PANELS MAY BE REQUIRED.

KEY PLAN



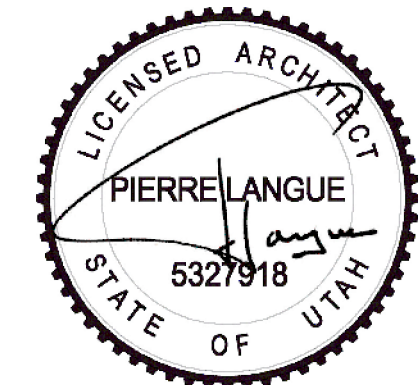
UTAH VALLEY UNIVERSITY
Losee Center Remodel
Orem, Utah

Revision #	Date
1	07-16-2008

Axis Job # 0719
Owner # 07196790
Date 07-16-2008
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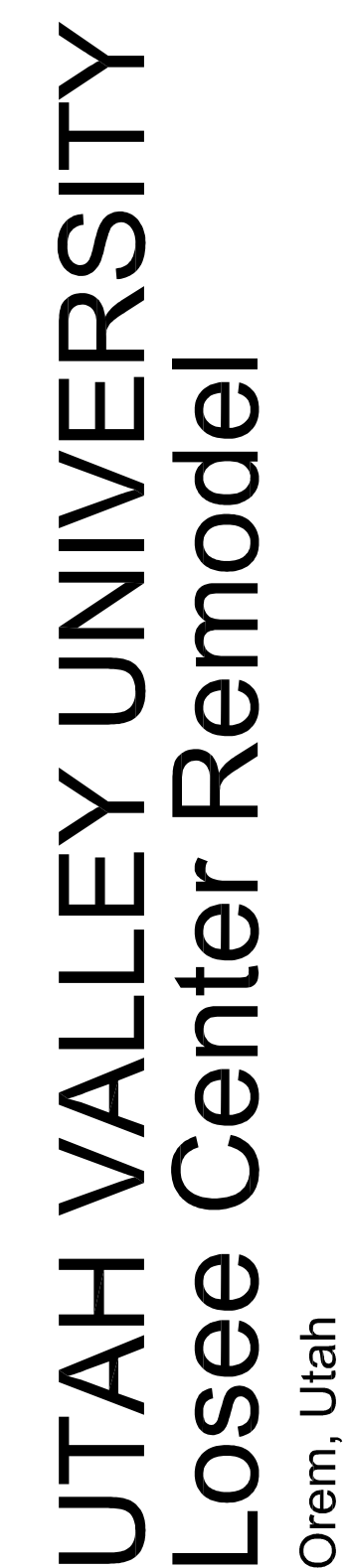
LEVEL FOUR
REFLECTED CEILING PLAN

AE114B

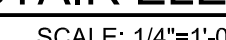
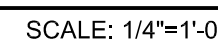
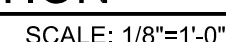
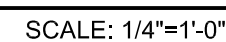


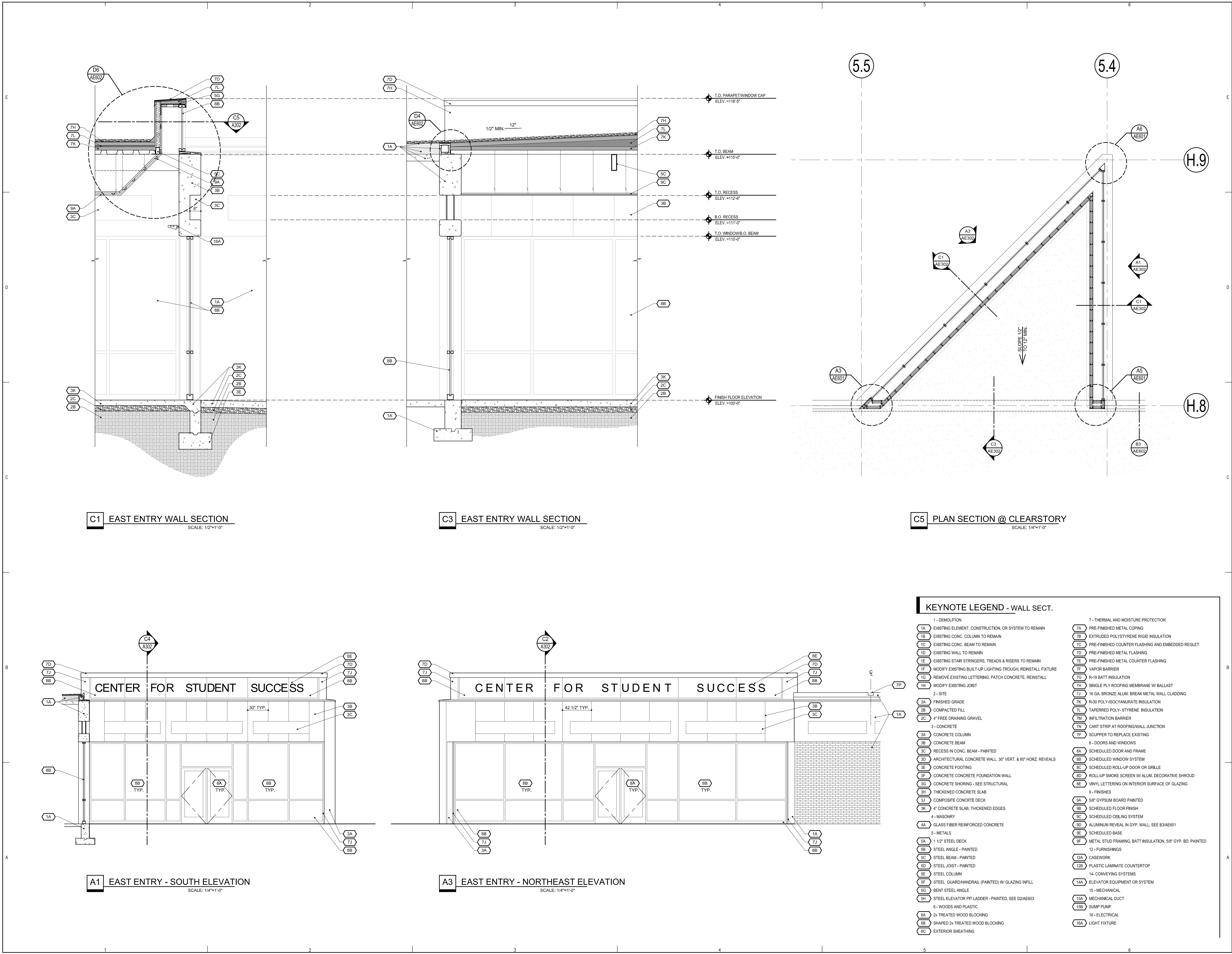
Axis Architects

352 SOUTH DENVER STREET (440 EAST) SALT LAKE CITY, UTAH 84111 P. 355-3003 F. 355-0113



AE301



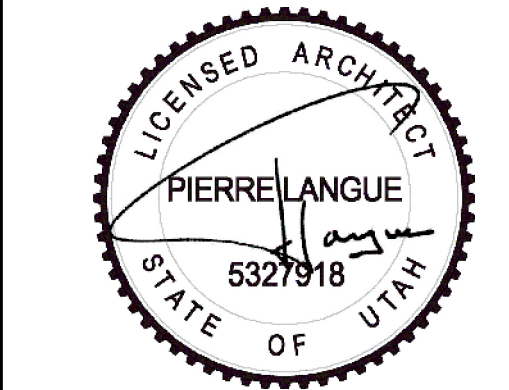


UTAH VALLEY UNIVERSITY
Losee Center Remodel
Orem, Utah

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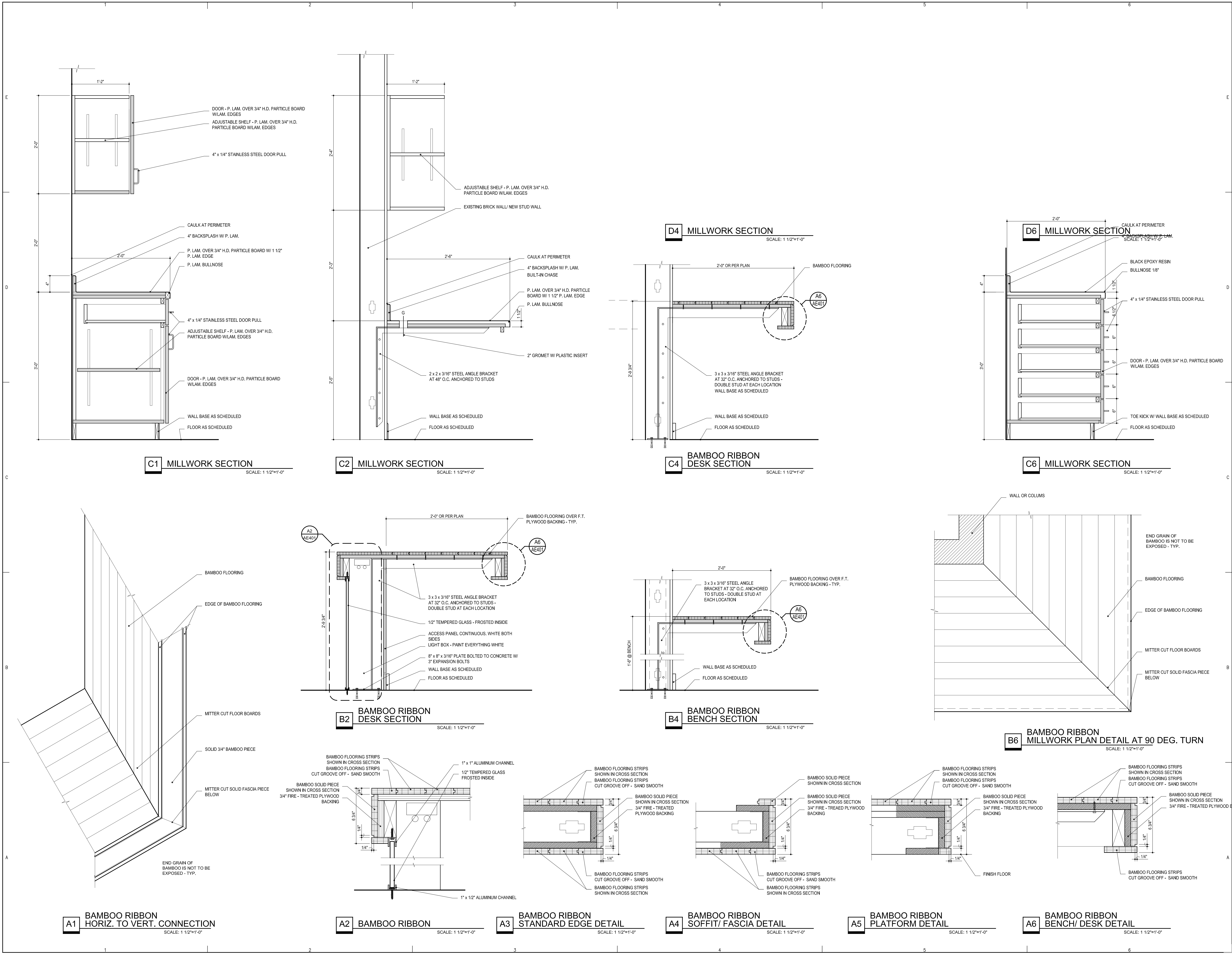
DETAILS

AE302



Axis Architects

352 SOUTH DENVER STREET (440 EAST) SALT LAKE CITY UTAH 84111 P. 355-3003 F. 355-0113

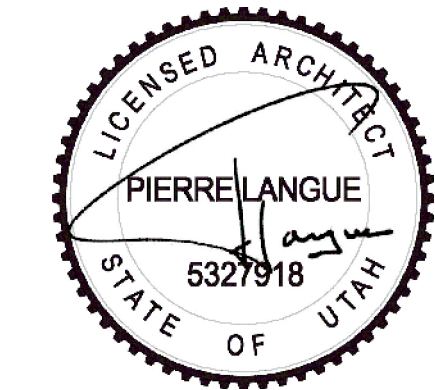


UTAH VALLEY UNIVERSITY
Lossee Center Remodel
Orem, Utah

Revision #	Date
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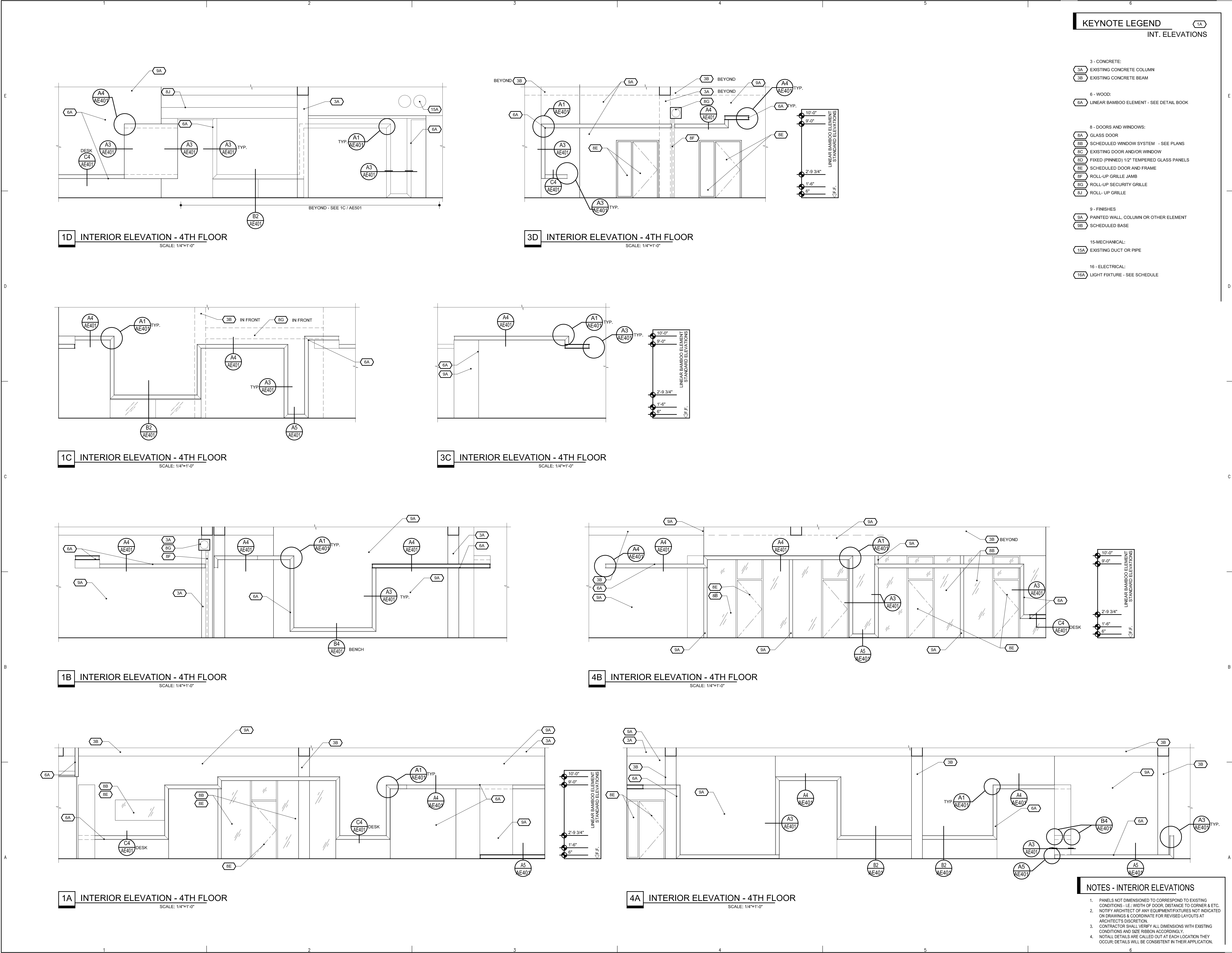
DETAILS

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Axis Architects

352 SOUTH DENVER STREET (440 EAST) SALT LAKE CITY UT 84111 P. 355-3003 F. 355-0113

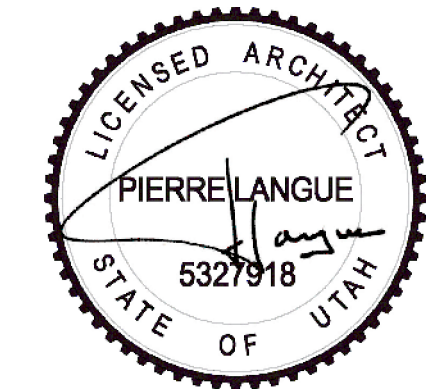


UTAH VALLEY UNIVERSITY
Losee Center Remodel
Orem, Utah

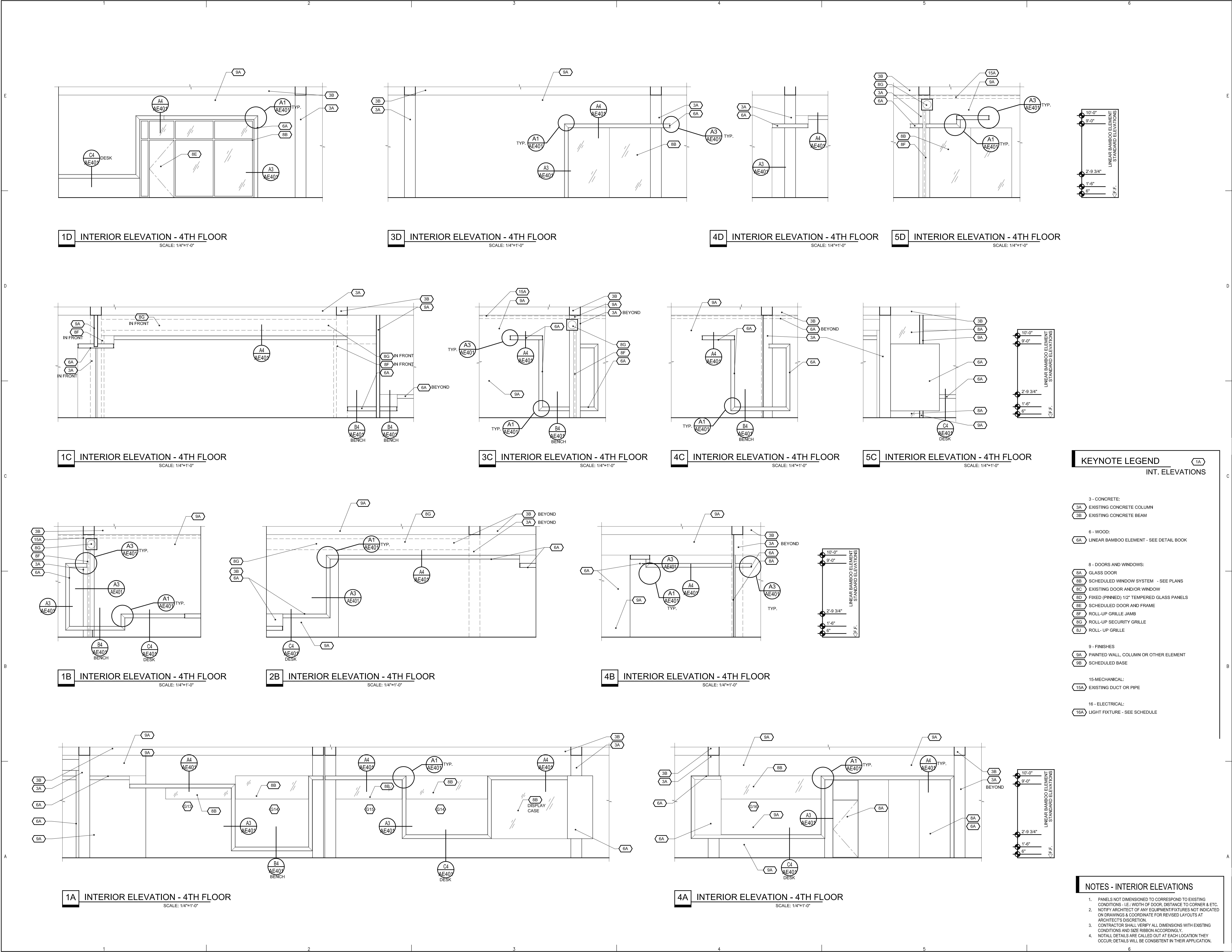
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INTERIOR ELEVATIONS

AE501



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352 SOUTH DENVER STREET (440 EAST)
SALT LAKE CITY, UTAH 84111
P. 355-3003 F. 355-0113



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352 SOUTH DENVER STREET (440 EAST)

SALT LAKE CITY

UTAH 84111

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P. 355-0113

PIERRE LANGUE

5327918

STATE OF UTAH

UTAH VALLEY UNIVERSITY

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Orem, Utah

Revision #

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NOTES - INTERIOR ELEVATIONS

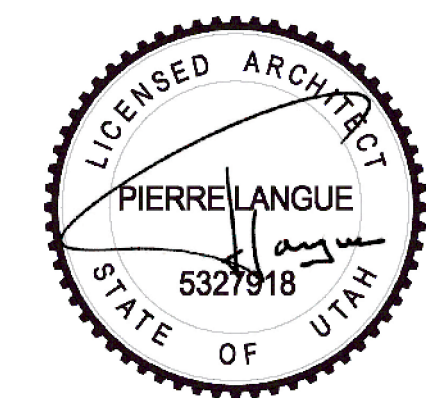
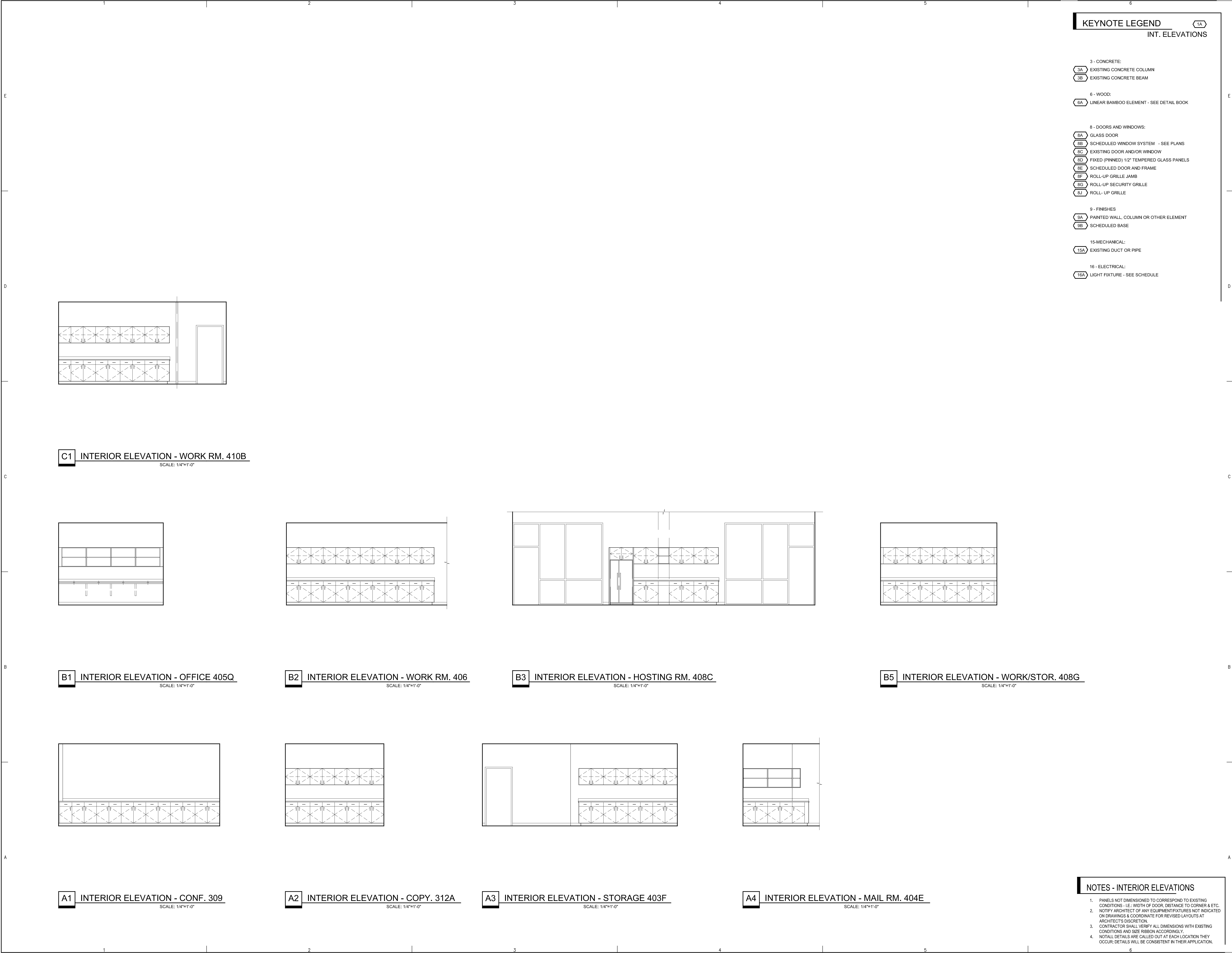
1. PANELS NOT DIMENSIONED TO CORRESPOND TO EXISTING CONDITIONS - I.E. WIDTH OF DOOR, DISTANCE TO CORNER & ETC.

2. NOTIFY ARCHITECT OF ANY EQUIPMENT/FIXTURES NOT INDICATED ON DRAWINGS & COORDINATE FOR REVISED LAYOUTS AT ARCHITECT'S DISCRETION.

3. CONTRACTOR SHALL VERIFY ALL DIMENSIONS WITH EXISTING CONDITIONS AND SIZE RIBBON ACCORDINGLY.

4. NOTALL DETAILS ARE CALLED OUT AT EACH LOCATION THEY OCCUR. DETAILS WILL BE CONSISTENT IN THEIR APPLICATION.

AE502



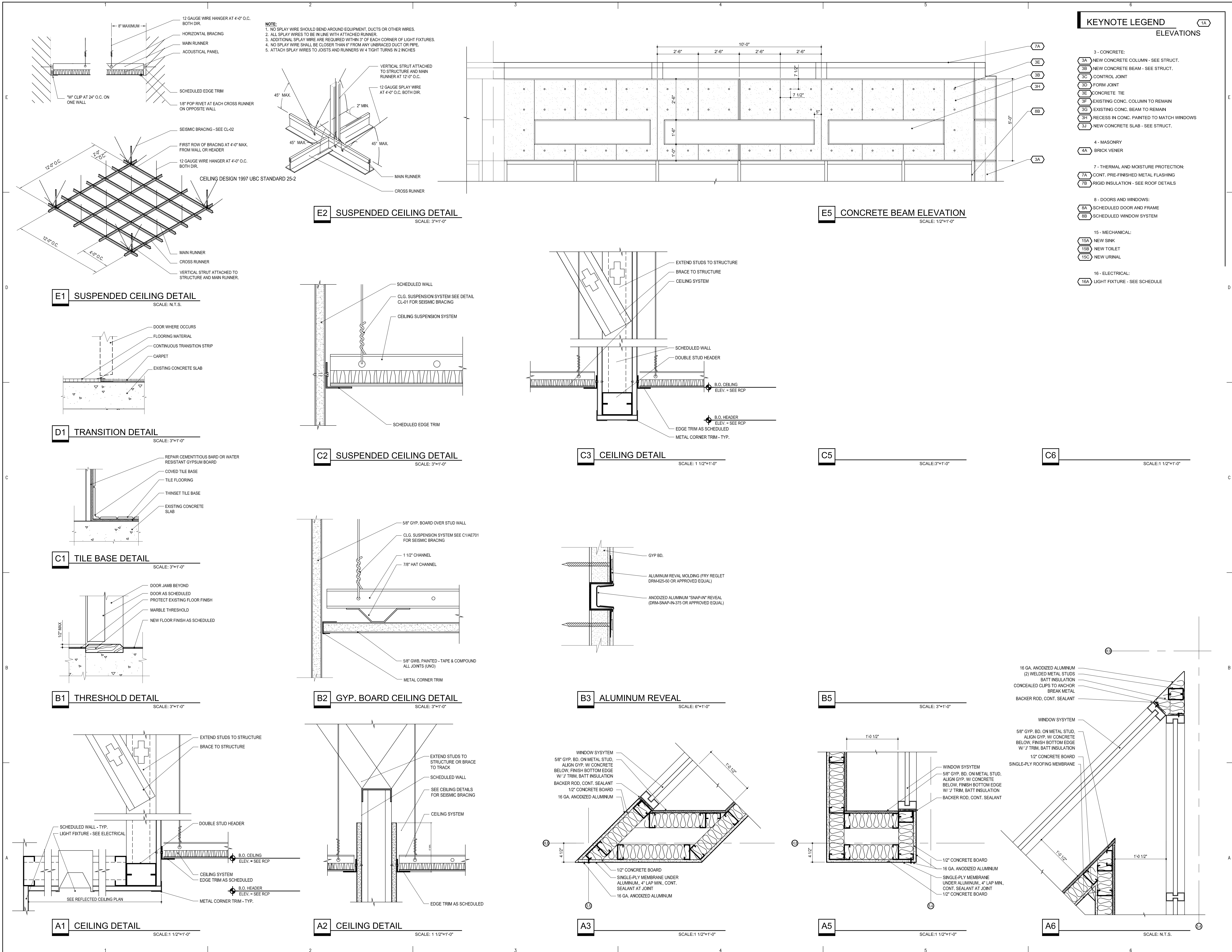
UTAH VALLEY UNIVERSITY
Losee Center Remodel
Orem, Utah

Revision # Date
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Axis Job # 0719
Owner # 07196790
Date 07-16-2008
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INTERIOR ELEVATIONS

AE503

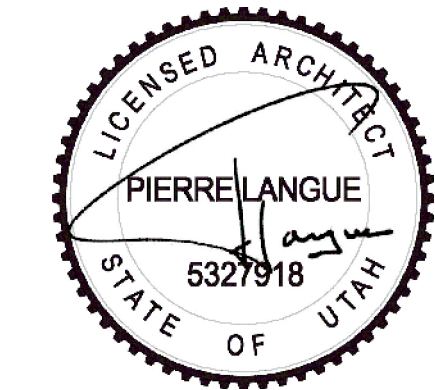


UTAH VALLEY UNIVERSITY
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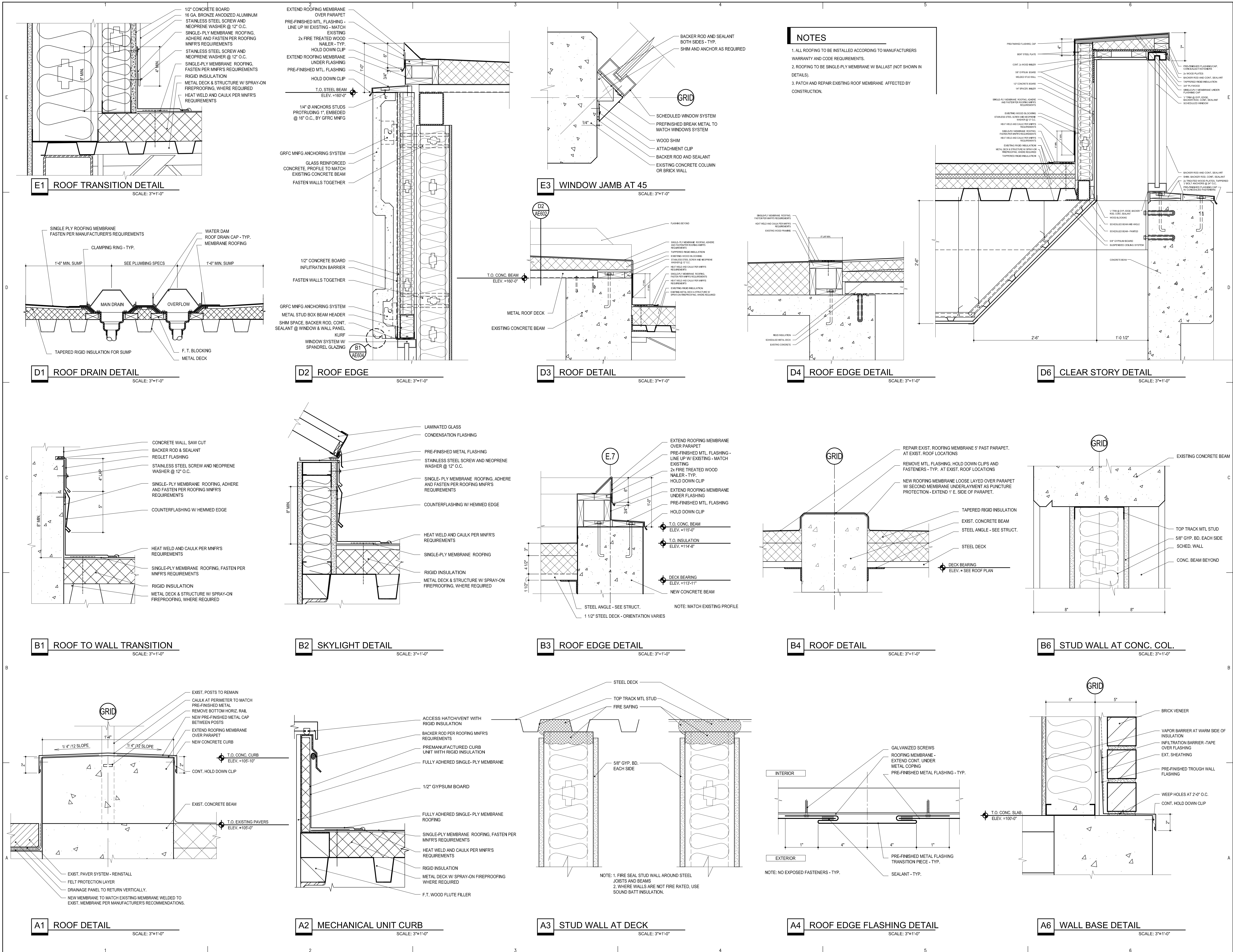
DETAILS

AE601



Axis Architects

352 SOUTH DENVER STREET (400 EAST) SALT LAKE CITY, UTAH 84111 P. 355-3003 F. 355-0113



Axis Architects

352 SOUTH DENEER STREET (440 EAST)

SALT LAKE CITY

UTAH 84111

F. 355-3003

P. 355-3003

LICENSED ARCHITECT

PIERRE LANGUE

5327918

STATE OF UTAH

UTAH VALLEY UNIVERSITY

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Orem, Utah

Revision #

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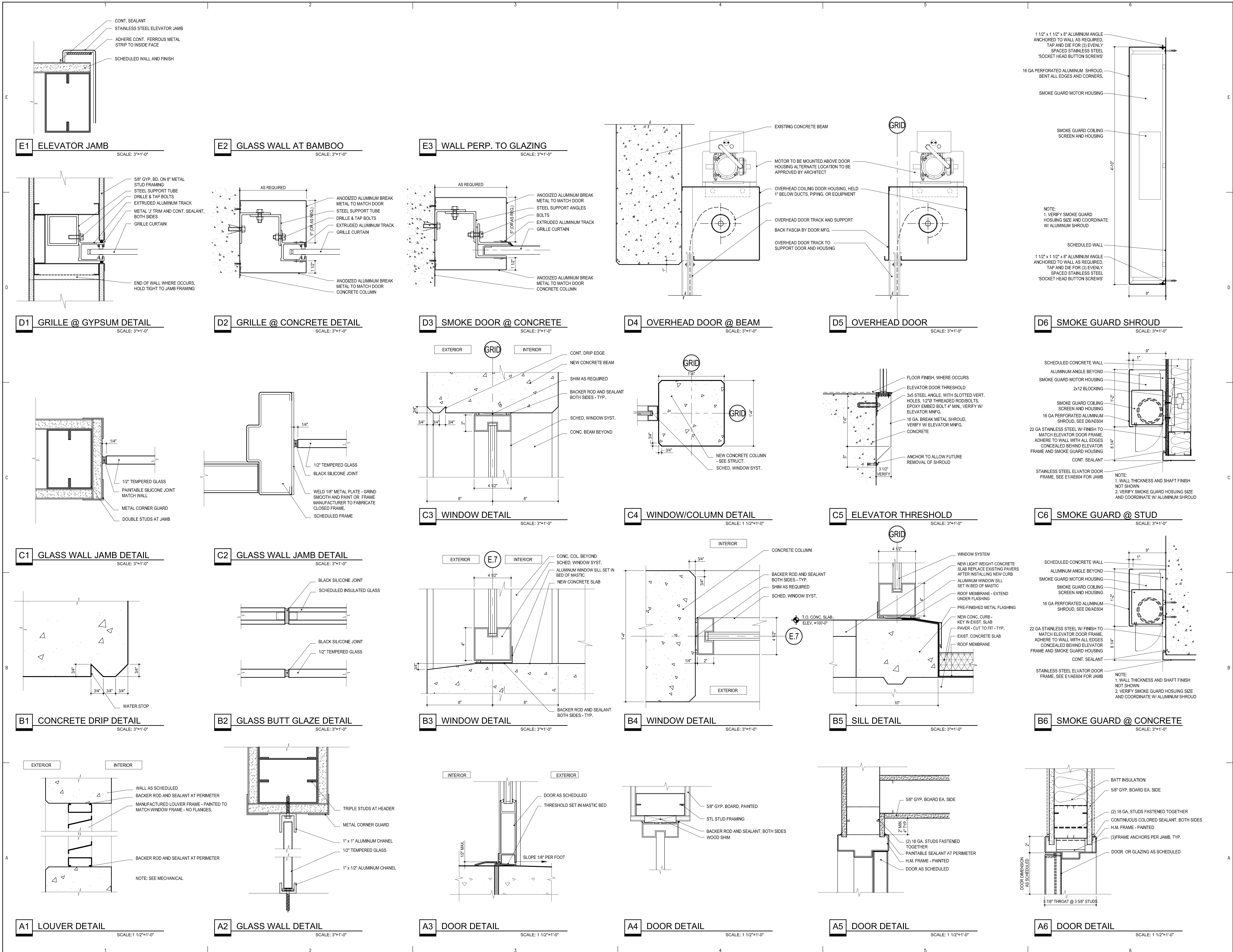
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DETAILS

AE602



Axis Architects

352 SOUTH DENVER STREET (440 EAST)
SALT LAKE CITY
UTAH 84111
P. 355-3003
F. 355-0113

UTAH VALLEY UNIVERSITY
Lossee Center Remodel
Orem, Utah

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Axis Job # 0719
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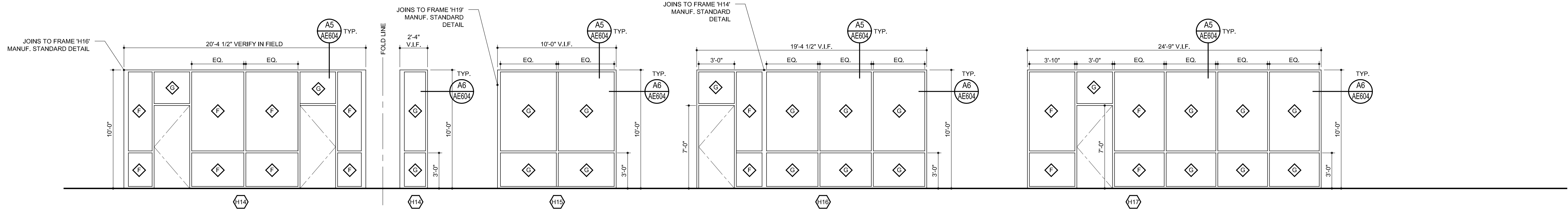
DOORS & WINDOW

AE801

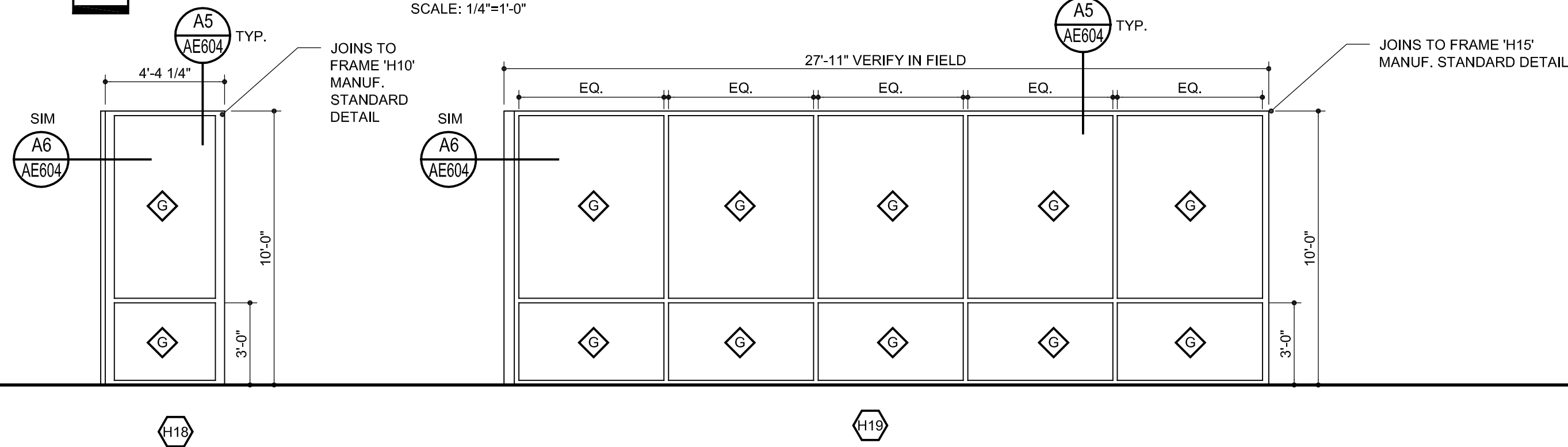
1. ALL FRAME MULLION WIDTHS TO BE 2" U.N.O.
2. ALL SILLS AT FLOOR LEVEL TO BE 4".
3. CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS PRIOR TO FABRICATION.
4. HOLLOW METAL FRAMES TO BE PAINTED - TYP.
5. COORDINATE SIGNAGE WITH OWNER.
6. CONTRACTOR TO DETERMINE PROPER FRAME CONFIGURATION FOR DOOR SWINGS AS INDICATED ON PLANS

A	1" INSULATED LOW E BRONZE TINTED TEMPERED GLASS
B	1" INSULATED LOW E BRONZE TINTED GLASS
C	1" INSULATED LOW E CLEAR TEMPERED GLASS
D	1" INSULATED LOW E CLEAR GLASS
E	1" INSULATED GLASS SPANDREL PANEL
F	1/4" TEMPERED CLEAR GLASS
G	1/4" CLEAR GLASS
H	1/2" TEMPERED CLEAR GLASS



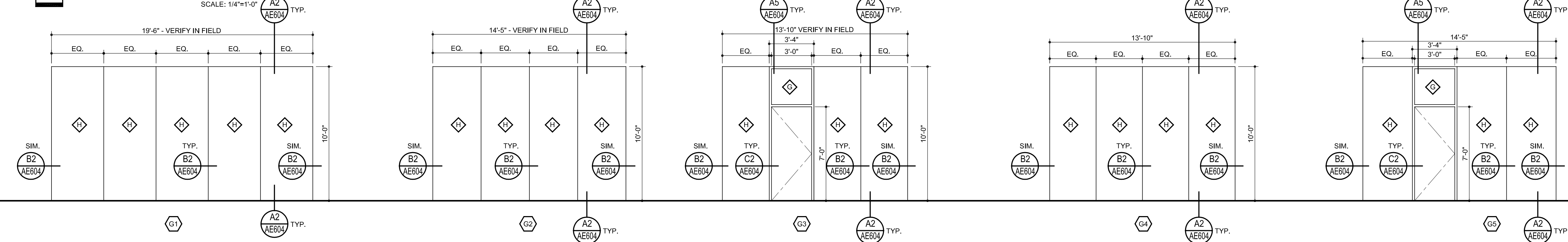


E1 HOLLOW METAL FRAME TYPES

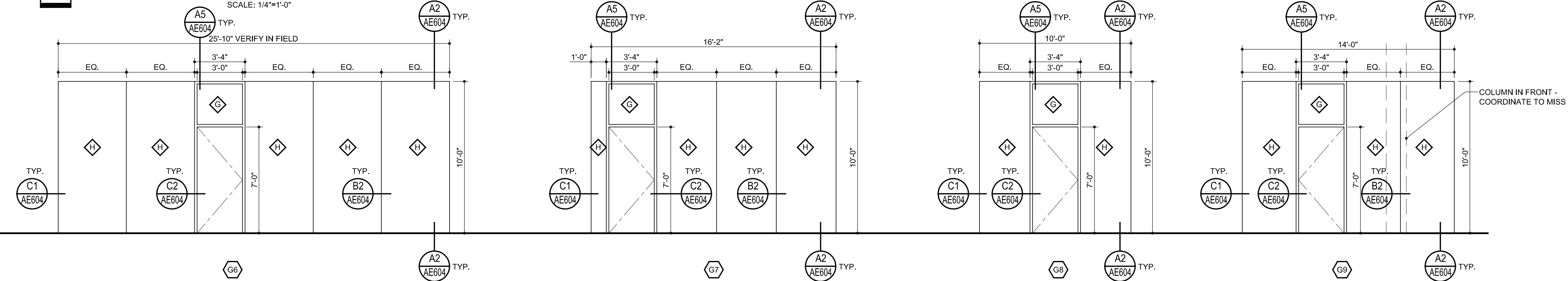


NOTE:
ALL GLAZING AND FRAME DIMENSIONS
SHALL BE VERIFIED WITH EXISTING AND
NEWLY BUILT CONDITIONS

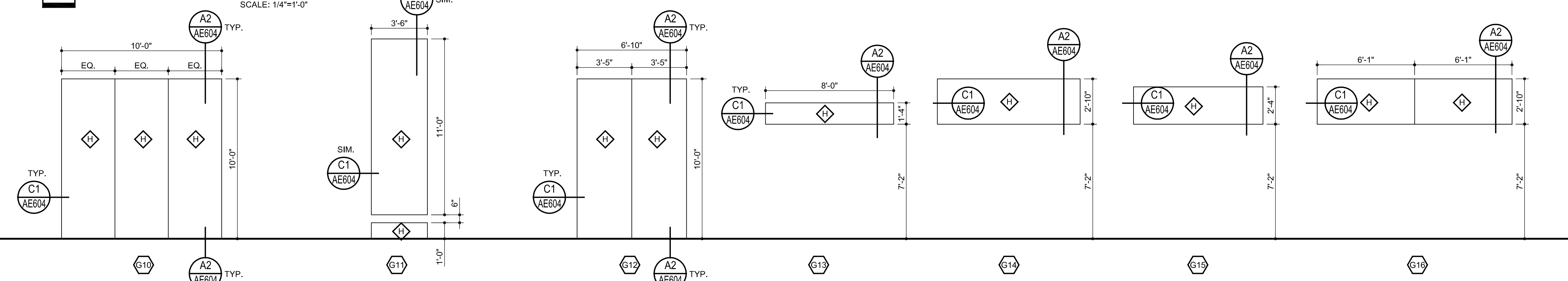
D1 HOLLOW METAL FRAME TYPES



C1 FRAMELESS GLASS SYSTEM FRAME TYPES



B1 FRAMELESS GLASS SYSTEM FRAME TYPES



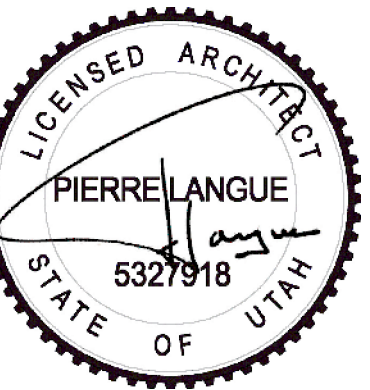
A1 FRAMELESS GLASS SYSTEM FRAME TYPES

NOTES

1. ALL FRAME MULLION WIDTHS TO BE 2" U.N.O.
2. ALL SILLS AT FLOOR LEVEL TO BE 4".
3. CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS PRIOR TO FABRICATION.
4. HOLLOW METAL FRAMES TO BE PAINTED - TYP.
5. COORDINATE SIGNAGE WITH OWNER.
6. CONTRACTOR TO DETERMINE PROPER FRAME CONFIGURATION FOR DOOR SWINGS AS INDICATED ON PLANS

GLAZING SCHEDULE

- 1" INSULATED LOW E BRONZE TINTED TEMPERED GLASS
- 1" INSULATED LOW E BRONZE TINTED GLASS
- 1" INSULATED LOW E CLEAR TEMPERED GLASS
- 1" INSULATED LOW E CLEAR GLASS
- 1" INSULATED GLASS SPANDREL PANEL
- 1/4" TEMPERED CLEAR GLASS
- 1/4" CLEAR GLASS
- 1/2" TEMPERED CLEAR GLASS



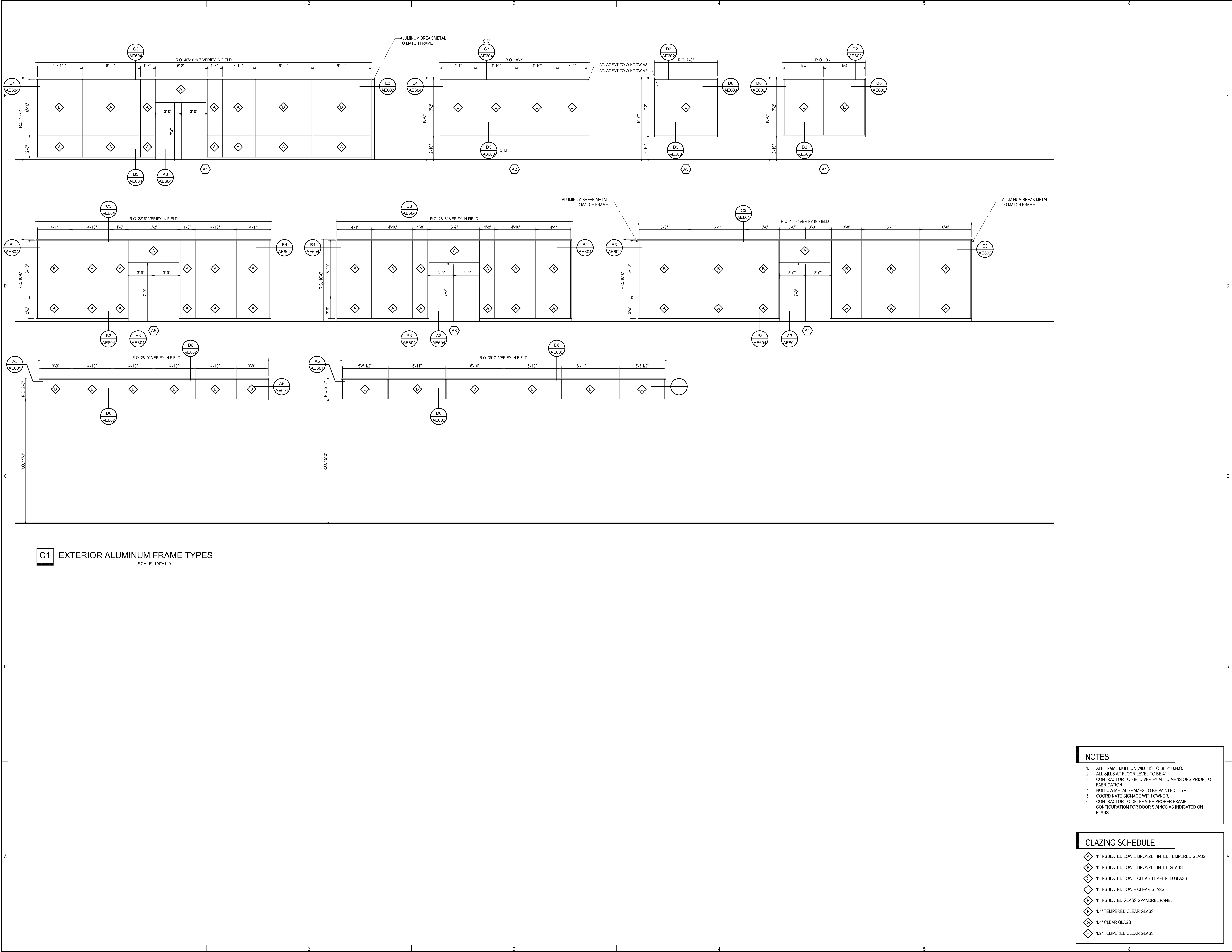
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Losee Center Remodel
Orem, Utah

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Date 07-16-2008
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DOORS & WINDOWS

AE802



C1 EXTERIOR ALUMINUM FRAME TYPES
SCALE: 1/4"=1'-0"

NOTES

1. ALL FRAME MULLION WIDTHS TO BE 2" U.N.O.
2. ALL SILLS AT FLOOR LEVEL TO BE 4".
3. CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS PRIOR TO FABRICATION.
4. HOLLOW METAL FRAMES TO BE PAINTED - TYP.
5. COORDINATE SIGNAGE WITH OWNER.
6. CONTRACTOR TO DETERMINE PROPER FRAME CONFIGURATION FOR DOOR SWINGS AS INDICATED ON PLANS

GLAZING SCHEDULE

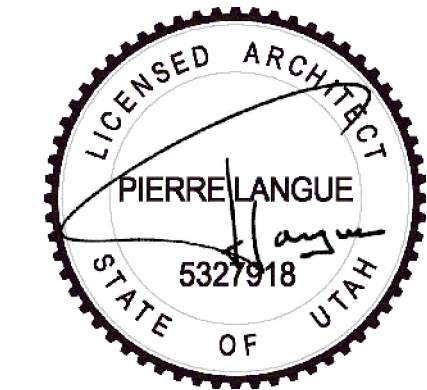
- 1" INSULATED LOW E BRONZE TINTED TEMPERED GLASS
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- 1" INSULATED LOW E CLEAR TEMPERED GLASS
- 1" INSULATED LOW E CLEAR GLASS
- 1" INSULATED GLASS SPANDREL PANEL
- 1/4" TEMPERED CLEAR GLASS
- 1/4" CLEAR GLASS
- 1/2" TEMPERED CLEAR GLASS

UTAH VALLEY UNIVERSITY
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DOORS & WINDOWS



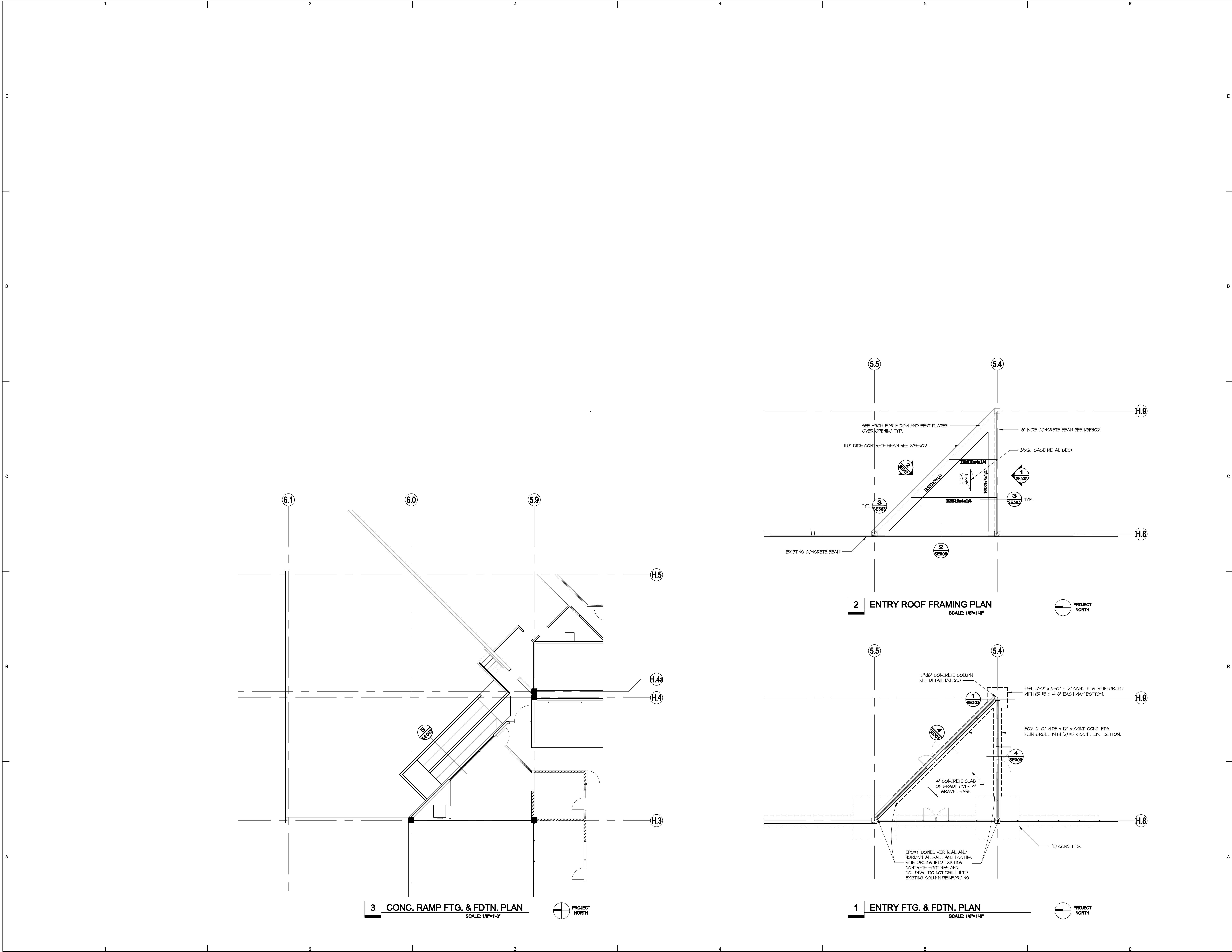
Axis Architects

352 SOUTH DENVER STREET (40' EAST) SALT LAKE CITY UTAH 84111 P. 355-3003 F. 355-0113

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Orem, Utah

FOOTING & FOUNDATION AND
LEVEL 2 THRU 5 FLOOR FRAMING PLANS



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UTAH VALLEY STATE COLLEGE

Lossee Center Remodel

Orem, Utah

Revision	#	Date
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Axis Job #

Owner #

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FOOTING & FOUNDATION AND

LEVEL 2 FLOOR FRAMING PLANS

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